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1 INTRODUCTION

The suburb of Teralba developed as a result of various circumstances including coal mining, the railway, its location and topography.

Teralba has been identified as requiring specific development solutions to suit the existing local character and address local issues.

This part contains objectives and controls for development within the Teralba Heritage Conservation Area (HCA). The Teralba HCA is identified in Schedule 5 of the Lake Macquarie Local Environmental Plan (LMLEP) 2014. It is recognised to have heritage significance for its historical, aesthetic and social values.

Properties and buildings within the Teralba HCA have been graded based predominately on their aesthetic presentation, but also based on their historical context. Significance gradings for the Teralba HCA are provided for reference in Figure 2. It is also noted that a number of locally listed heritage items, as identified in Schedule 5 of the LMLEP 2014, are located within the Teralba HCA. Heritage items include:

- ‘Great Northern Hotel’ (Item ID 161),
- ‘House “AS”’ (Item ID 164), and
- ‘Teralba Public School’ (Item ID 168).

Conservation Philosophy

The Teralba HCA Area Plan adopts the conservation philosophy embodied in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter).

The Burra Charter is widely accepted by Government agencies at all levels and by private industry as the standard philosophy for heritage conservation practice in Australia. The Charter sets down principles, processes and practices for the conservation of significant places.

Note: The term ‘original’ as used throughout the Teralba HCA refers to any significant fabric. This may be from a range of historic periods.

Note: This Area Plan should be read in conjunction with [Lake Macquarie City Council Heritage Guidelines](#), which provide additional development guidelines for Heritage Precincts and Conservation Areas.

1.1 LAND TO WHICH THIS PLAN APPLIES

The Teralba HCA is identified in the LMLEP 2014 and is located at the northern end of Lake Macquarie, and approximately six kilometres north of Toronto. The Teralba HCA is a site of important heritage significance. This Area Plan contains objectives and controls for development within the Teralba HCA, which will protect and enhance the recognised significance of the place by retaining and enhancing features that characterise Teralba and contribute to its significance. Where the provisions of this Area Plan are inconsistent with the provisions of any other part of the LMDCP 2014, the provisions of this Area Plan take precedence.

This Area Plan applies to all of the land shown within the boundary in Figure1 – Teralba Heritage Conservation Area.

Note: For heritage items or potential heritage sites located within the HCA, refer to *Lake Macquarie Local Environmental Plan (LMLEP 2014)* and [Lake Macquarie City Council Heritage Guidelines](#) respectively.

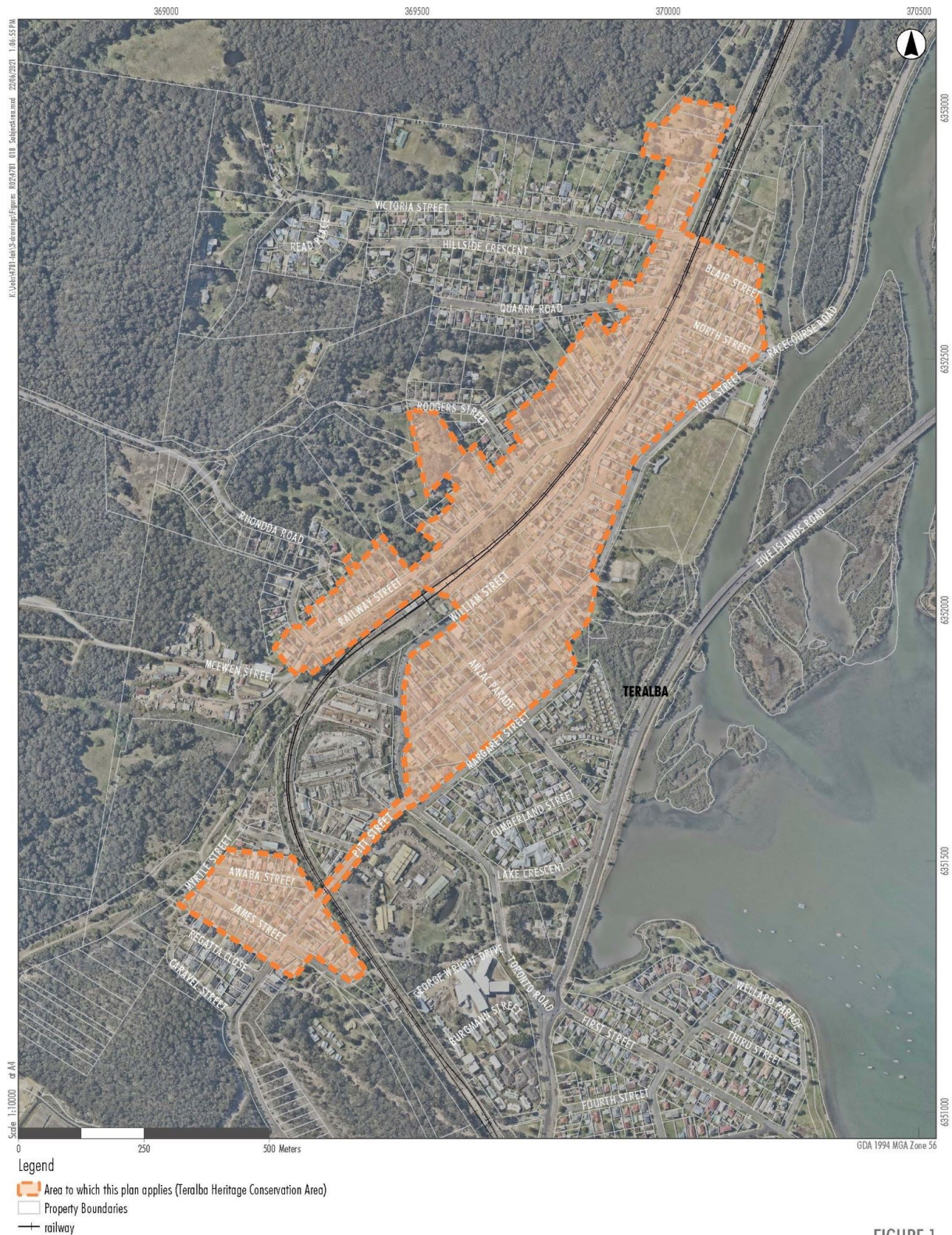


FIGURE 1

Area to which this plan applies

Figure 1 - Teralba Heritage Conservation Area

1.2 DEVELOPMENT TO WHICH THIS PLAN APPLIES

This Plan applies to development in the Teralba HCA that requires development consent under LMLEP 2014.

1.3 OBJECTIVES

The objectives of this Plan are to:

- a. Facilitate the implementation of the objectives and controls relating to heritage conservation contained within the LMLEP 2014.
- b. Acknowledge and conserve the heritage significance, landscape setting and visual setting of the Teralba HCA, and provide guidelines and controls that are intended to protect this heritage significance and setting.
- c. Encourage the ongoing conservation of heritage items and contributory items (graded as Contributory 1 and 2) within the HCA.
- d. Ensure that development and design outcomes are complementary and sympathetic to the heritage significance of the Teralba HCA and the individual buildings contained therein, including their settings.
- e. Encourage change that will remove uncharacteristic or detracting items.

1.4 RELATIONSHIP TO OTHER PARTS OF THE DCP

The Teralba HCA Area Plan should be read in conjunction with the other parts of the LMDCP 2014 that are relevant to the development proposal, including but not limited to:

- Part 3 - Development within Residential Zones
- Part 4 – Development in Centres and Mixed Use Employment Zones
- Part 5 – Development in Productivity Support, Industrial and Infrastructure Zones
- Part 9 – Specific Land Uses – this part contains sections on multi-dwelling housing, residential flat buildings, secondary dwellings and housing on small and narrow lots.

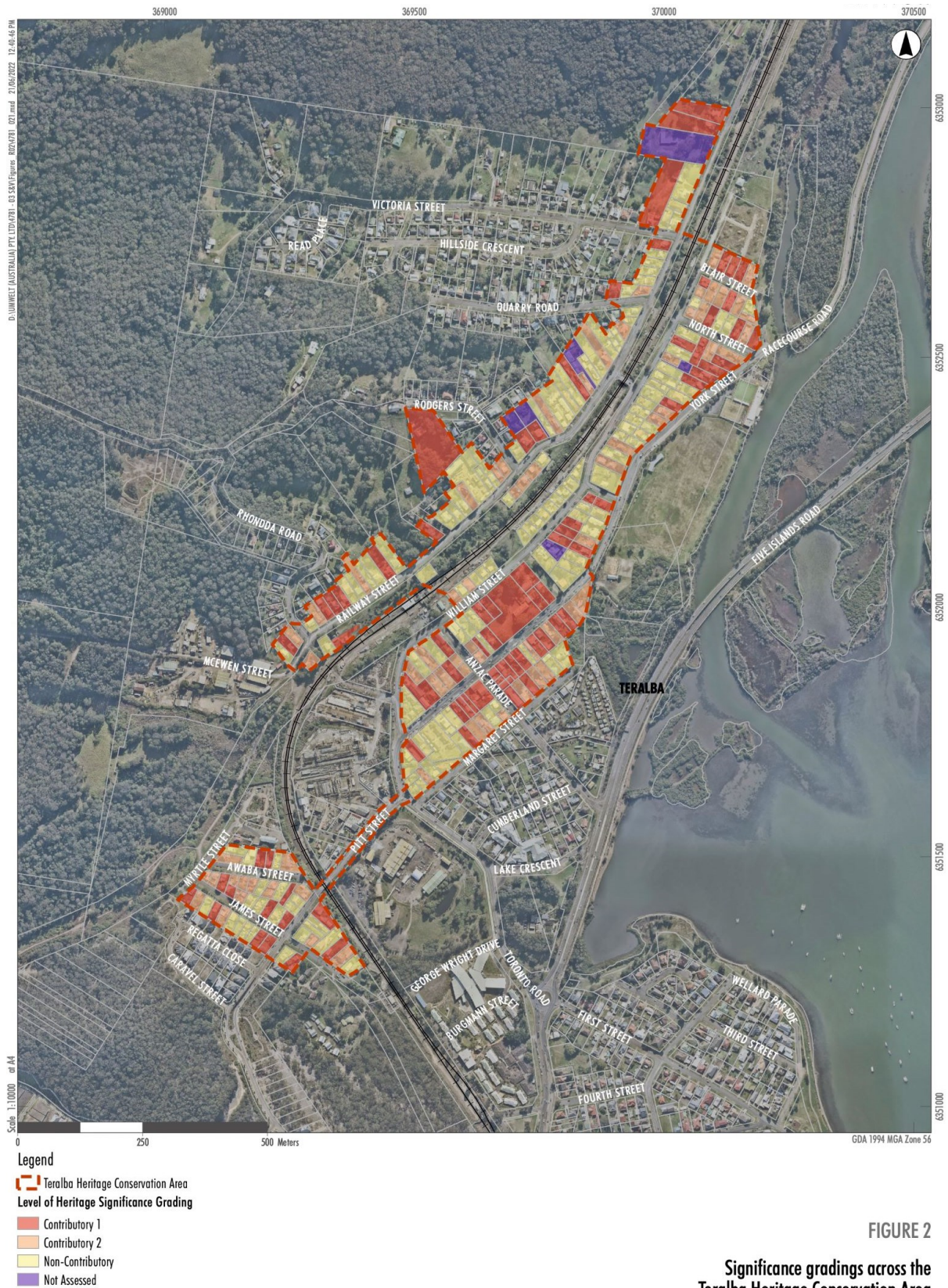


FIGURE 2
Significance gradings across the Teralba Heritage Conservation Area

Figure 2 - Significance Gradings across Teralba Heritage Conservation Area

2 EXISTING CHARACTER

2.1 STATEMENT OF SIGNIFICANCE

The Teralba HCA is of local heritage significance for its historical, social and aesthetic heritage values. Teralba is one of the earliest railways and mining settlements in Lake Macquarie, and the conservation area is reflective of the key early industries that have historically characterised the development of individual townships within the Lake Macquarie local government area, including mining, the development of the railway, and the establishment and ongoing operation of small businesses intended to service local populations. The settlement is divided by the railway with each side of the suburb having its own distinct historical and aesthetic importance.

The history of Teralba is inextricably linked with these early industries and their economic dominance throughout the late nineteenth and early twentieth centuries. Significant early enterprises associated with the Conservation Area include Gartlee Mine (also the Northern Extended), Rhondda Colliery, the Amos Bros Quarry and the Northern Colliery. Though these sites are located outside of the Conservation Area, the residential and commercial building stock of Teralba are a direct reflection of the economic significance of these enterprises and the role they played in the establishment and ongoing operation of the township.

This is also conveyed by the landmark, individually listed Federation Queen Anne style dwelling “House A.S.”, which is located on the northern side of Railway Street and was constructed for Andrew Sneddon, founder of Gartlee Mine.

In terms of aesthetic significance, the Conservation Area contains a number of both residential and commercial buildings that date from the early history of the town. Despite adverse impacts associated with the loss of many original/early buildings, more recent infill development and unsympathetic alterations and additions to original/early buildings throughout the township, Teralba has retained a sense of place and character that is clearly evidenced by pockets of intact building stock that date from the late nineteenth and early twentieth centuries.

This includes the principal axis of the commercial precinct, located at the intersection of York Street and Anzac Parade, and the row of early twentieth century cottages present along York Street and opposite the public school. Significant buildings in this area include but are not limited to the Co-Op Building (73 York Street), the former Post Office (40 York Street), one of the former Police Stations (10 Anzac Parade) and the Teralba Public School (57 York Street).

The reverence in which the suburb’s history is held by its local residents is demonstrative of the social significance of the place. Local residents have been active in compiling historical records relevant to the area, and the community’s investment in the suburb is reflected by their active involvement in responses to development applications that would further degrade the Conservation Area’s integrity

2.2 ABORIGINAL CULTURAL HERITAGE AND ARCHAEOLOGY

Prior to European settlement of the region, the Lake Macquarie area was inhabited by the Awabakal people. The spatial distribution of Aboriginal archaeological sites within and around the Teralba area show that the lake itself along with watercourses such as creek lines were frequented by Aboriginal people in the past for the purposes of resource procurement and other activities. There are, however, no registered sites located within the Teralba HCA. This is likely to be due to the extent to which the area has been disturbed through industry and development.

The Heritage NSW, which forms part of the Department of Premier and Cabinet (DPC, formerly the Office of Environment and Heritage -OEH) is primarily responsible for regulating the management of Aboriginal cultural heritage in New South Wales under the *National Parks and Wildlife Act 1974* (NPW Act). The NPW Act is accompanied by the National Parks and Wildlife Regulation 2019 (the Regulation) and a range of codes and guides including the Guide to Investigating, Assessing and Reporting on Aboriginal Cultural Heritage in NSW (OEH 2011), the consultation requirements and the Code of Practice.

Cultural heritage value refers to the spiritual, traditional, historical or contemporary associations and attachments a place has for Aboriginal people (OEH 2011:8). There is not always a consensus about the cultural value of a place as people experience places and events differently. With regards to the Aboriginal cultural heritage of Teralba, it is noted that cultural significance can only be determined by Aboriginal people and is identified through Aboriginal community consultation.

2.3 STRATEGIC OVERVIEW AND PLANNING CONTEXT

Teralba is situated in the north-west of Lake Macquarie, on the Main North railway line connecting Sydney and Brisbane. It consists of a local centre on the south side of the train station, with residential and industrial uses outside the local centre. The centre is located on the southern periphery of the North-West Lake Macquarie Catalyst Area identified in the Greater Newcastle Metropolitan Plan and in the Lake Macquarie Local Strategic Planning Statement (LSPS).

The North West Catalyst Area will drive investment and change in the broader North West Growth Area of Lake Macquarie, which incorporates land between Speers Point, Edgeworth and Cardiff. The Catalyst Area provides opportunity to generate significant jobs, diversity of housing supply, and add more advanced manufacturing, recreation, open space and services to the broader region. Its proximity to the rail line and access to the arterial road network provides a solid foundation for a wide range of economic growth opportunities.

The Teralba Precinct, which includes land to the north of the centre, is identified as one of seven precincts in the North West Catalyst Area. Identifying infrastructure required to increase opportunities for manufacturing, light industry and emerging new economy industries to support the transition from mining activities is a priority for this precinct. Local plans will need to be aligned to support commercial and industrial development that leverages the existing rail infrastructure. Suitable economic reuse of mining land is also to be investigated.

The LSPS guides the growth of Lake Macquarie City in line with State and regional planning goals. Teralba is identified as a future growth centre, supported by the Teralba train station, easy connection to surrounding areas, as well as Sydney and Newcastle, connection to the lake and nearby growing employment opportunities. More intensive residential development is envisaged to occur in and around the centre that is complimentary and sympathetic to the heritage values. In a broader context, investigation is to be undertaken into significant urban expansion from Teralba to the M1, and north to the Newcastle Link Road.

Enabling growth and more intensive development in Teralba while conserving the important heritage of the area is a key challenge. The LSPS highlights this need to review the Teralba Heritage Conservation Area to balance development and growth pressures with delivery of heritage conservation outcomes.

Teralba is well positioned for active transport, with cycle way connections along the lake, through to Barnsley across the Barnsley Weir, and connection to the Great North Walk. There is also an approval for BlackRock Motor Park to the north-west of Teralba centre, making it a potential future tourist destination.

The suburb's historical background is associated with the development of quarrying activities and associated uses. In May 2020, there is still a quarry in operation, but there are also concrete manufacturers supporting the mining and construction industries. Aged care is also a major employer in Teralba.

Teralba businesses account for \$391 million of output each year, 1.7% of Lake Macquarie's total output and 2.5% of the total exports of Lake Macquarie (2021). In 2016 the area provided 712 jobs, increasing from 591 jobs in 2011. This growth was predominately from the construction, and professional scientific and technical services sectors. Construction in particular is a key economic driver in Lake Macquarie. The growth of professional scientific and technical services is also of key importance to attracting and retaining highly educated residents. Local businesses include an art gallery/café, a variety of artisan trades and the City's biggest makers place, showcasing works by a host of local artists.

2.4 DESIRED FUTURE CHARACTER

The desired future character for the Teralba HCA is a place where:

- The character and aesthetic of the place is maintained as a lakeside village through appropriate infill development that respects the architectural character, scale, and identified heritage significance of the place;
- contributory elements are conserved and enhanced firstly through preservation, and secondly through appropriately designed alterations and additions;
- the 'village feel' of the principal commercial axis of Teralba, as defined by the intersection of Anzac Parade and York Street is conserved and enhanced. This commercial axis is recognised as a 'point of difference' for the suburb;
- new development continues to balance and grow the economic performance of the Teralba area whilst conserving and promoting its heritage significance and character;
- the low-scale residential character is maintained and reinforced as this is directly linked to its heritage character;
- the relatively intact historical subdivision pattern of the suburb is maintained;
- the character of the place is improved through contemporary and appropriate public domain works.

3 OBJECTIVES AND CONTROLS

3.1 GENERAL CONTROLS

3.1.1 CONTEXT AND SETTING

Objectives

- a. To protect the unique character of the Teralba HCA.
- b. To ensure that development occurs in a manner which has no adverse heritage impact on the level of significance of the area.
- c. To ensure that development maintains established views to and from the Teralba HCA and/or to and from heritage items within it.
- d. To protect and enhance the visual context of the Teralba HCA, which is in part defined by its landscape setting.

Controls

- 1 Development proposals must incorporate bulk, form, scale and landscaping that is consistent with, and complements the historical development of the Teralba HCA.
- 2 Development is not to exceed the established and/or predominant scale/height of existing buildings within a streetscape.
- 3 Development applications must include a Heritage Impact Statement that identifies the potential impact of development on the significance of the item or areas, and include an assessment of potential impacts to the context and setting.
- 4 The assessment must include:
 - i. Details of form, scale, proportion, finishes, ridge levels and fenestration;
 - ii. A statement identifying the level of visual integration of the development with the Conservation Area and an assessment of potential visual impacts, including a contextually accurate photomontage;
 - iii. How adverse heritage impacts have been avoided and/or mitigated.
- 5 The Heritage Impact Statement must identify buildings, structures, landforms and landscape elements which are visually inconsistent (or “intrusive”) and outline how these can be removed to improve interpretation of the significance of the area.
- 6 Developments must not compromise the significance of existing buildings, their curtilage or setting.

3.1.2 LANDSCAPE SETTING

The landscape setting of the Teralba HCA is strongly defined by the underlying topography and associated changes in elevation. In areas to the southeast of the rail line, the elevation is lower and the topography less variable. By contrast, areas to the northwest and southwest of the rail line are of a higher elevation with greater variability in the underlying topography.

As the landscape setting of the area has been subject to minimal change over time, the development of Teralba responds to and reflects this underlying topography. This is most evident on James Street and Railway Street, where the scale of development is slightly greater than that seen in the lower parts of the HCA (such as in the vicinity of the principal commercial axis of York Street and Anzac Parade, where land is relatively flat) as the landscape is better able to accommodate dwellings of more storeys and slightly greater scale in response to underlying topography (i.e. greater degree of variability in slopes).

In addition to the above, the presence of remnant vegetation around the periphery of the HCA contributes strongly to its setting and reinforces its character as a relatively isolated suburb developed between the lake to the east and elevated areas less suitable for residential development to the west.

Objectives

- a. To retain the existing landscape character of the Teralba HCA.
- b. To ensure that development maintains established views into and within the Teralba HCA. (reference should be made to Figure 3 and Figure 4).

Controls

- 1 The underlying topography of an allotment must be considered and utilised in designing alterations and additions or infill development. Where possible, the topography should be used to minimise the visibility of the new development (including additions). Reference should be made to Figure 5.
- 2 New development should be consistent with the surrounding streetscape with regards to the ways in which it responds to the underlying topography.
- 3 Minimising visual impacts is to be prioritised over avoiding earthworks where this would result in the least adverse heritage impact, noting that excavation will be considered on its merit, where it results in maintaining the predominant height and scale of the streetscape.
- 4 Any proposal that involves earthworks to facilitate development must be undertaken in accordance with Part 3 Development in Residential Zones Section 4.14 ('Cut and Fill') of the LMDCP 2014.
- 5 Aboriginal archaeology must be considered as part of any proposal that involves substantial earthworks. Reference should be made to the *Lake Macquarie Aboriginal Heritage Management Strategy 2011* and the relevant sections of the LMDCP 2014.
- 6 The bushland setting of the Teralba HCA should be considered and maintained as part of any new development.
- 7 The trees listed in council's Significant Tree Register and located in the Teralba HCA should be considered and maintained as part of any new development. Amenity provided by the trees listed in council's Significant Tree Register should not be reduced.
- 8 The natural vegetation of the Teralba HCA should be considered and maintained as part of any new development. Amenity provided by natural vegetation should not be reduced. Appropriate measures to address impacts may include replacement tree planting, and maintenance of streetscape amenity to and from the item or area.

3.1.3 VIEWS AND VISTAS

Objectives

- a. To ensure that any development proposal, infrastructure works, vegetation management works, or maintenance activities maintains identified views and vistas of significance, being those shown in Figure 3 and Figure 4.

Controls

- 1 Development should not obstruct or detract from significant views and vistas (refer to Figure 3 and Figure 4).
- 2 The potential visual impacts of any new development (including alterations and additions) must be considered as part of an accompanying heritage assessment.
- 3 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. Appropriate measures to address impacts may include adequate screening, maintaining view corridors to and from the item or area, and increasing or protecting heritage plantings, or considering visual permeability/fragmentation as part of the design.
- 4 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. All trees listed in council Significant Tree Register should remain unaffected during development.

3.1.4 FORM, MASSING AND SCALE

Objectives

- a. To ensure new development is appropriate and sympathetic to the Teralba HCA and its heritage significance in terms of form, massing and scale.
- b. To complement the predominately single-storey scale of development within the HCA that characterises the area and reinforces the overall aesthetic presentation of the place as a late 19th century lakeside village.
- c. To maintain and enhance the existing heritage character of the Teralba HCA and the streetscapes contained therein, which is strongly defined by low scale development and single dwelling houses.

Controls

- 1 Development is to reflect the bulk, mass, scale, orientation, curtilage and setbacks of the surrounding context.
- 2 Development is to complement the architectural style and character of the area, including specific streetscapes where relevant.
- 3 Development must not obstruct or detract from significant views and vistas (refer to Figure 3 and Figure 4.)
- 4 The reinstatement of original architectural features or elements is to be attempted, where reasonable, when works are proposed to listed heritage items or Contributory 1 items.
- 5 Where present, consistent patterns of setbacks (front, rear or side) are to be maintained. Where no consistency in setbacks exists within a streetscape, the front setback should be compliant with the other relevant parts of this DCP.
- 6 Contemporary design outcomes may be appropriate, provided that this does not have an adverse impact on the characteristic built form and/or architectural style of the HCA, particularly in terms of bulk, scale, height, form and/or materials.



View 1 - View South along Anzac Parade from the Station, showing the entrance to the commercial precinct



View 2 - View North along Anzac Parade from the Station, showing the entrance to the commercial precinct



View 3 - View Northeast along York Street within the principal axis of the commercial precinct



View 4 - View Southwest along York Street within the principal axis of the commercial precinct



View 5 - View Southeast along Anzac Parade within the principal axis of the commercial precinct



View 6 - View Northwest along Anzac Parade within the principal axis of the commercial precinct



View 7 - View Southwest along York Street looking into the commercial precinct



View 8 - View Southwest from northern end of York Street showing residential development

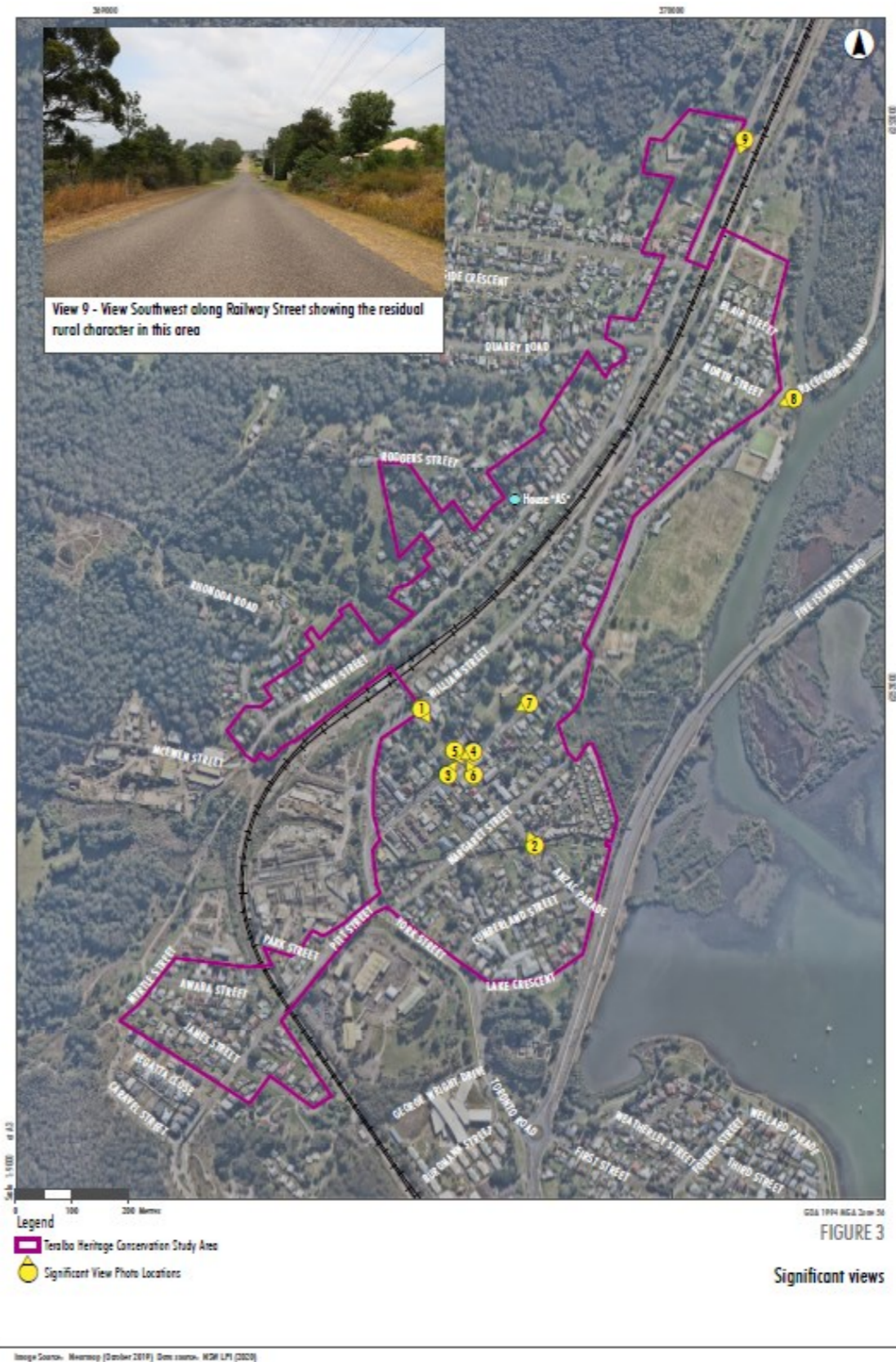


Figure 3 - Significant Views

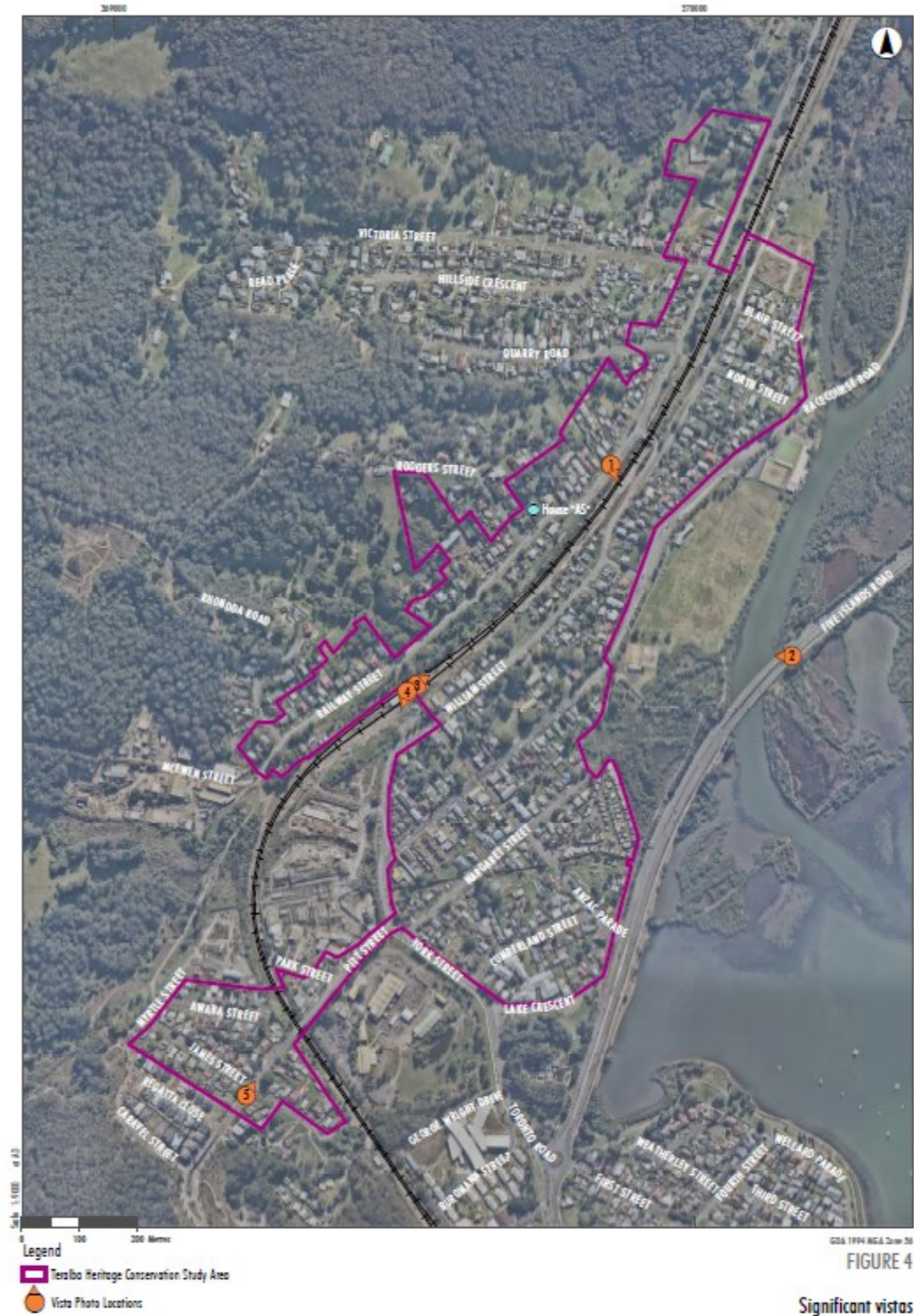


Figure 4 - Significant Vistas

3.1.5 ADDITIONS AND ALTERATIONS

Objectives

- a. To ensure that alterations and additions undertaken within the Teralba HCA respect and respond appropriately to its heritage significance and character.
- b. To ensure that the character and form of buildings and streetscapes within the Teralba HCA are conserved and enhanced.
- c. To ensure that new work within the Teralba HCA represents high quality and good design outcomes.
- d. To encourage new work within the Teralba HCA to enhance and support the economic performance of the Teralba area, whilst respecting and responding sympathetically to the heritage significance of the Teralba HCA.

Controls

- 1 Alterations and additions must conserve and enhance, rather than adversely impact or detract from, the heritage significance of the Teralba HCA and the heritage items and Contributory 1 buildings contained therein.
- 2 Alterations and additions to heritage items and Contributory 1 buildings are to be undertaken in accordance with the controls provided at Section 3.4.1.
- 3 Alterations and additions to Contributory 2 buildings are to be undertaken in accordance with the controls provided at Section 3.4.2.
- 4 Alterations and additions to Non-Contributory buildings are to be undertaken in accordance with the controls provided at Section 3.4.3.
- 5 Additional storeys or upper level additions to existing dwellings that would have a street presentation are not appropriate.
- 6 Alterations and additions should be designed with reference to Figure 5 and Plate 3.1. The underlying topography of an allotment must be considered and utilised in designing alterations and additions to ensure that the height of development is consistent with the predominate scale of the streetscape and reflect the underlying topography. Where possible, the topography should be used to minimise the visibility of rear additions or alterations.

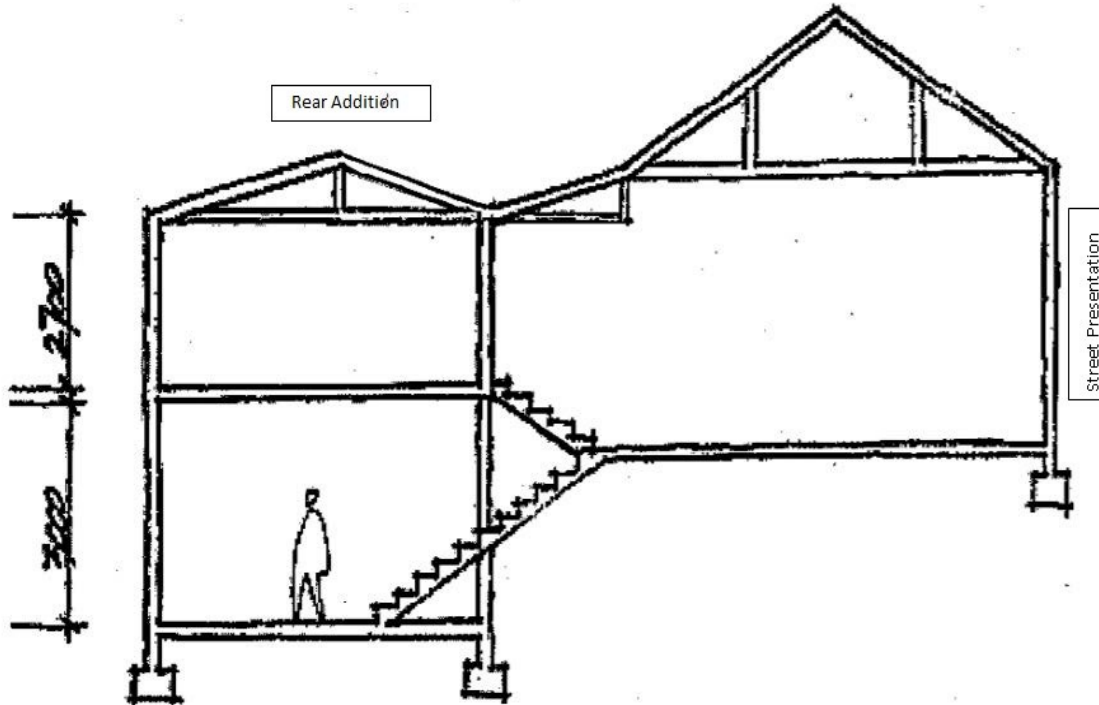
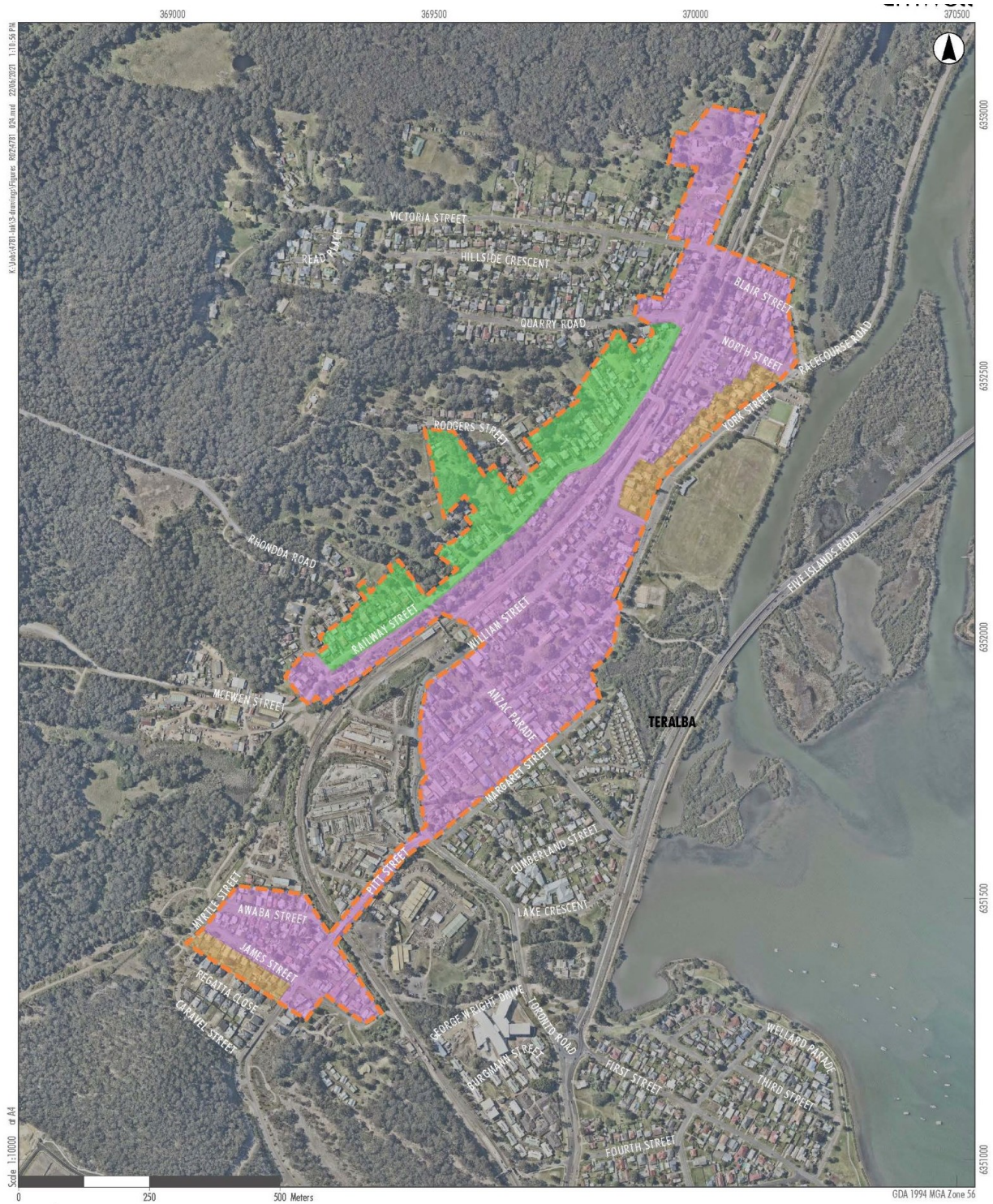


Plate 3.1 – Example of utilising topography to maintain a single storey presentation to the streetscape whilst allowing for a double storey addition to the rear



Legend
 Teralba Heritage Conservation Area
Guidelines for Height of Development
 1-2 Storeys. Street presentation of 1 storey plus substantial sub-floor level. 1-2 Storeys at rear pending visual impact
 1-2 Storeys. Street presentation of 1 storey. 1-2 Storeys at rear pending visual impact
 2-3 Storeys. Street presentation of 1 storey plus substantial sub-floor level. Additions of 2-3 Storeys at rear pending visual impact

FIGURE 5
 Guidelines for height of development

Figure 5 - Guidelines for Height of Development

3.1.6 INFILL DEVELOPMENT

Objectives

- a. To ensure new development is consistent with and sympathetic to the character of the Teralba HCA and Contributory 1 buildings contained therein in terms of materials, bulk, scale, character and setback.

Controls

- 1 Infill development within the Teralba HCA is to be compatible with the surrounding area and is to be designed to respect the character of the area and buildings of significance by responding sympathetically to:
 - i. The existing streetscape;
 - ii. Topography and setting;
 - iii. Significant views and vistas and existing view lines to and from heritage items and Contributory 1 buildings;
 - iv. Historical subdivision patterns that contribute to the maintenance of the HCA's overall aesthetic character;
 - v. The type, siting, form, height, bulk, roofscape, scale, materials and details of adjoining or nearby Contributory 1 buildings (refer to Section 3.2);
 - vi. The interface between the public domain and building alignments/boundaries;
 - vii. The rhythm and proportions of the fenestration (openings) of surrounding buildings, particularly Contributory 1 buildings, should be respected and where possible reinforced as part of any new development.
- 2 Infill development is not to exceed the established and/or predominant scale/height of existing buildings within a streetscape.
- 3 Development of a greater height/scale than surrounding buildings may be permissible where it can be demonstrated that this will not negatively impact the overall character of the Teralba HCA or disrupt the integrity/consistency of a streetscape.
- 4 Infill development is not to be designed as a copy or replica of other buildings in the area, but is to complement the character of the HCA by addressing the controls included within this section.
- 5 Infill development should be designed with reference to the NSW Heritage Office (now Heritage, Department of Premier and Cabinet [DPC]) publication *Design in Context: Guidelines for Infill Development in the Historic Environment*.

3.1.7 SUBDIVISION AND LOT AMALGAMATION

Objectives

- a. To ensure that the character of the Teralba HCA is not adversely impacted by uncharacteristic subdivision patterns and associated inappropriate development.
- b. To ensure the significance of the heritage items, Contributory 1 buildings and the overall Teralba HCA is not ~~reduced~~ impacted through reduced or inappropriate curtilages.

Controls

- 1 Subdivision or lot amalgamation that would adversely impact or significantly obscure the historical subdivision pattern is not supported.
- 2 Any application that seeks to subdivide or amalgamate allotments that contain heritage items or Contributory 1 buildings must be informed by a heritage impact statement that includes consideration of the contribution that the subdivision pattern makes to the heritage significance of those items/buildings and/or the wider HCA.
- 3 Changes to property boundaries are not supported where this would inappropriately reduce the curtilage of a heritage item or Contributory 1 building.

3.1.8 ADAPTIVE RE-USE AND USE OF BUILDINGS

Objectives

- a. To ensure that the uses of buildings within the HCA are appropriate to their heritage significance.
- b. To ensure that the adaptive re-use of buildings within the HCA is done in an appropriate and complementary manner.

Controls

- 1 Changes in use/new uses should be consistent with the historical use of a heritage item or Contributory 1 building (i.e. residential properties should maintain a residential use, commercial properties should maintain a commercial use).
- 2 Changes in use may be supportable where the new use requires no more than a minimal degree of alteration to significant fabric and building elements. Work required to facilitate a change in use should be reversible where feasible.
- 3 The commercial character of the Teralba HCA, which is defined by the axis of the commercial precinct, located at the intersection of York Street and Anzac Parade, is to be maintained and enhanced.
- 4 New uses that require an inappropriate degree of physical intervention to a heritage item or Contributory 1 building are not supported.
- 5 New uses must not adversely impact the external presentation of heritage items or Contributory 1 buildings.
- 6 Alterations and/or additions required to support a new use must not obscure the understanding of a building's heritage significance

3.1.9 PUBLIC DOMAIN ELEMENTS

Objectives

- a. To ensure development does not adversely impact on the significance of heritage items in the public domain.

Controls

- 1 The introduction of or changes to any public domain elements within the Teralba HCA should have regard for the area's identified significance, and be of a sympathetic and complementary design.
- 2 The introduction of or changes to any public domain elements within the Teralba HCA must not obscure any heritage items or Contributory 1 buildings within the Teralba HCA. Public domain elements also must not obscure or negatively impact the visual character or aesthetic presentation of streetscapes.
- 3 When assessing impacts to heritage items or precincts, consideration should be given to ensuring the surrounding setting (or visual 'curtilage') is not eroded or negatively impacted. Amenity provided by the streetscape should not be reduced. Appropriate measures to address impacts may include replacement street tree planting, maintenance of streetscape amenity to and from the item or area.
- 4 The introduction of new public domain elements that complement and reinforce the heritage character of Teralba is encouraged, particularly within the principal commercial axis.

3.1.10 SITE COVERAGE

Objectives

- a. To ensure the bulk and form of future development reflects the historic development of the Teralba HCA.
- b. To ensure that allotments are not overdeveloped.

Controls

- 1 The maximum site coverage, including ancillary development, must not exceed 45%, unless it can be demonstrated that the proposal will not have a detrimental impact on the heritage values within the precinct.

3.1.11 DEMOLITION OF ITEMS IN THE TERALBA HCA

Objectives

- a. To ensure the retention of heritage items and contributory items in the Teralba HCA.

Controls

- 1 A development application will need to be submitted to Council for the proposed demolition of any item within the HCA, where this demolition work does not fall under the exemptions outlined in the LMLEP 2014.
- 2 The Development Application will need to include a Heritage Impact Statement, including an assessment of archaeological potential.
- 3 The heritage impact statement shall address:
 - i. How will the proposed works affect the cultural significance of the place and the Precinct?
 - ii. What alternatives have been considered to ameliorate any adverse impacts?
 - iii. Are there any heritage conservation benefits that might offset any adverse impacts?
- 4 A development application for demolition of an existing building must also include details of the replacement building, that complies with the objectives and controls of this Area Plan. It is preferable that the development application seek consent for both the demolition and the new work proposed, concurrently.
- 5 If structural failure is cited as a justification for demolition, evidence must be provided from a registered structural engineer that the structural integrity of the building has failed, to the point where it cannot be rectified without removal of a majority of its significant fabric and/or prohibitive costs.
- 6 Chimneys must be retained unless they are structurally unsound and unable to be restored. An application for removal must be supported by a report prepared and certified by a qualified structural engineer.
- 7 In the case of a proposal for demolition of a listed heritage item or contributory building the Council may require the applicant, as a condition of approval, to submit an archival record of the place, prior to the commencement of demolition. In most cases this would include a digital plan, with digital photographs of the place in its setting, elevations, together with a digital photograph of each room, and any special feature(s) that the place may have. These photographs should be keyed to the plan with numbers and arrows.”

3.2 CONTROLS FOR SPECIFIC BUILDING ELEMENTS

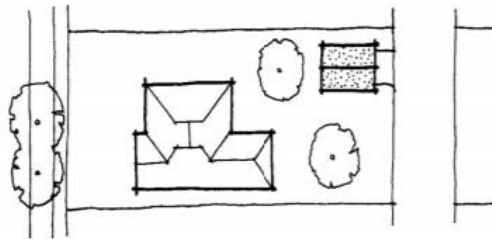
3.2.1 GARAGES AND CARPORTS

Objectives

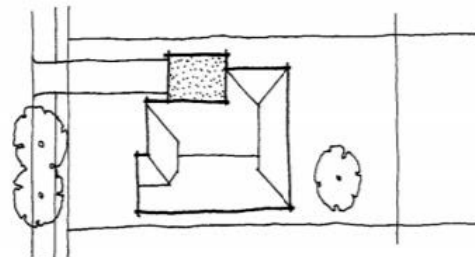
- a. To ensure that garages and carports do not adversely impact the significance of heritage items, Contributory 1 buildings, or the overall character of the Teralba HCA.

Controls

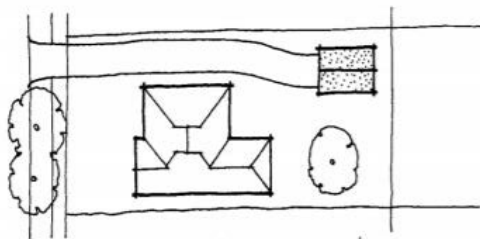
- 1 Garages are not to be located in front of the front facade.
- 2 Garages and carports are most appropriately located to the rear of the building. Where this is not feasible, garages and carports are to be located to the side of the building and behind the front building line.
- 3 If off-street carparking can only be accommodated to the front of the building line, this is to be limited to open carports of sympathetic and unobtrusive materials, or a discrete hardstand area.
- 4 The style, materiality and colour scheme of garages and carports is to complement that of the associated dwelling or building.
- 5 Double-storey garages are not appropriate unless it can be demonstrated that no adverse impacts will occur to heritage items, Contributory 1 buildings, or the significance of the wider Teralba HCA.



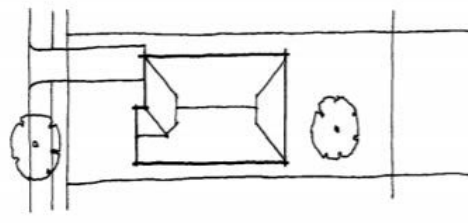
1. Locate at the rear. with access from a rear lane.



3. Locate at the side of the house. well set back



2. Locate at the rear. with access from the front.



4. Uncovered paved area at the front

5. If appearance of house is compromised, and no other options, on-street parking is preferred.

Plate 3.2 - Appropriate locations for garages/carports

3.2.2 VERANDAHS

Objectives

- a. To ensure that new verandahs, or changes to verandahs, do not adversely impact the significance of heritage items, Contributory 1 buildings, or the overall character of the Teralba HCA.
- b. To encourage the retention and/or reinstatement of original verandahs to heritage items and Contributory 1 buildings.

Controls

- 1 Original and/or sympathetic verandahs are to be retained and conserved. Sympathetic verandahs are those which complement the visual character and significance of the associated building. Heritage advice should be sought to determine original and/or sympathetic verandahs.
- 2 Reinstatement of missing verandahs where this would have a positive contribution to the heritage significance of the building and to the overall heritage significance of the Teralba HCA. Reinstatement should be based on historical (photographic) evidence where this is available.
- 3 Non-original and/or intrusive verandahs should be removed from heritage items and Contributory 1 buildings.
- 4 Enclosing front verandahs to heritage items or Contributory 1 buildings is not appropriate.
- 5 The design, form, scale and siting of new verandahs within the HCA must be broadly consistent with the heritage character of the wider HCA, and with original/early verandahs located within the surrounding streetscape. This is particularly relevant within the more intact streetscapes, including Blair Street, York Street and Awaba Street.
- 6 The style of verandah is to be appropriate to the architectural style of the building (i.e. Victorian, Federation or Inter-War).
- 7 Glass balustrades to verandahs within the Teralba HCA are not appropriate. More traditional materials such as timber or iron are to be used.

3.2.3 MATERIALS, COLOURS AND FINISHES

Objectives

- a. To ensure that materials and finishes are consistent with and complementary to the character and heritage significance of the Teralba HCA and significant buildings contained therein.

Controls

- 1 Proposed colour schemes to new and existing buildings are to be broadly consistent with the predominate colour schemes already present within the HCA and should be outlined in a schedule of (external) colours and materials to be provided as part of any development application being submitted. It is noted that there is a high degree of variability within the Teralba HCA in terms of paint colours, and this provides a greater degree of flexibility with regards to new paint schemes.
- 2 For heritage items or Contributory 1 buildings, attempts must be made to investigate original colour schemes. Where this can be determined, an original or early colour scheme should be reinstated.
- 3 Colour schemes should be selected with reference to: *Colour Schemes for Old Australian Houses*, Ian Evans, Clive Lucas and Ian Stapleton, The Flannel Flower Press, 1984.
- 4 Ensure materials and finishes are appropriate and sympathetic to the aesthetic character of the wider Teralba HCA and significant buildings contained therein.
- 5 Materials and finishes are to be selected based on their characteristic usage (e.g. brick to sub-floor levels for buildings on sloping blocks, corrugated iron to roofs, etc).
- 6 The most appropriate and therefore preferred finish type for external façades is painted weatherboard. Face brick and painted brickwork is also appropriate, particularly to verandahs (including posts/piers) and sub-floor levels. Timber joinery to windows, doors and verandahs is appropriate and supported. Tile and corrugated iron roofs are also appropriate.
- 7 Unpainted and/or un-rendered brickwork to heritage items and Contributory 1 buildings must remain unpainted and/or un-rendered.
- 8 Original or early render is to be retained and conserved. New render to heritage items or Contributory 1 buildings is to match existing render where this is present.

- 9 Where new materials and finishes are required, these are to be complementary to, but not seek to replicate, original materials and finishes. New materials and finishes must be discernible as new upon close inspection.

3.2.4 OTHER FEATURES (PARAPETS, AWNINGS AND ROOFS)

Objectives

- a. To ensure that building features are consistent with and complementary to the character and heritage significance of the Teralba HCA and significant buildings contained therein.

Controls

- 1 Parapets to commercial buildings of significance must be retained and conserved.
- 2 New parapets to commercial buildings must be consistent and/or complementary to existing original/early parapets within the HCA.
- 3 Suspended awnings to commercial buildings of significance are to be retained and conserved.
- 4 New awnings to commercial buildings are to be consistent with original/early awnings present within the HCA (i.e. suspended awnings of timber/iron construction)
- 5 Original roof forms must be retained and conserved, with materials able to be replaced if required. New materials to original roof forms are to be consistent with original/early materials and/or existing, adjacent fabric.
- 6 Traditional roof forms present within the HCA are to be used for new or infill development. Gable and hipped roof forms are most appropriate. The pitch of new roof forms must have regard to the pitches of existing roof forms to heritage items and Contributory 1 buildings within the HCA.

3.2.5 FENCES

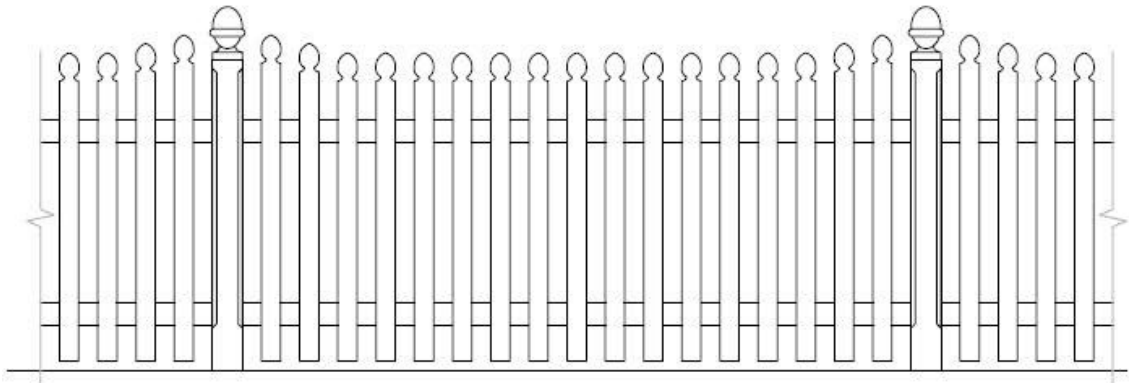
Objectives

- a. To ensure that fences are consistent with and complementary to the character and heritage significance of the Teralba HCA and significant buildings contained therein.

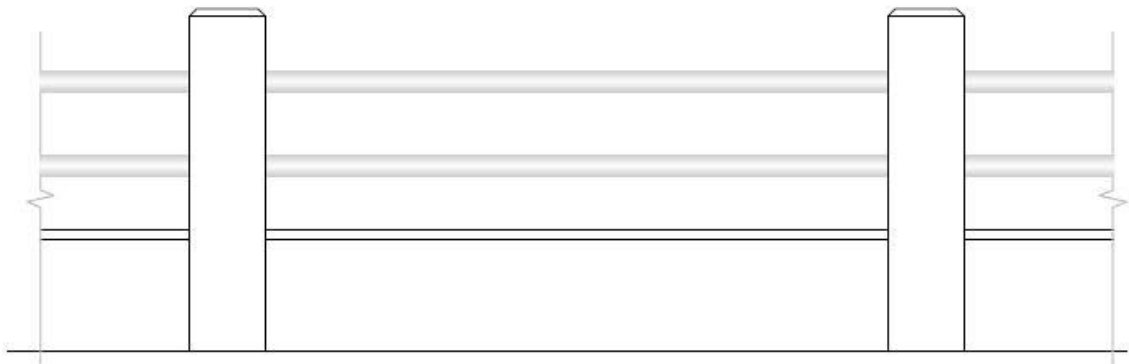
Controls

- 1 Original and/or sympathetic fences are to be retained and conserved. Sympathetic fences are those which complement the visual character and significance of the associated building. Heritage advice should be sought to determine original and/or sympathetic fences.
- 2 New fences are to be generally consistent and/or complementary to existing original/early fences within the HCA.
- 3 Front fences are to be of a design that is appropriate to the style and period of the building, as outlined below. It should be noted that the below examples are indicative only:

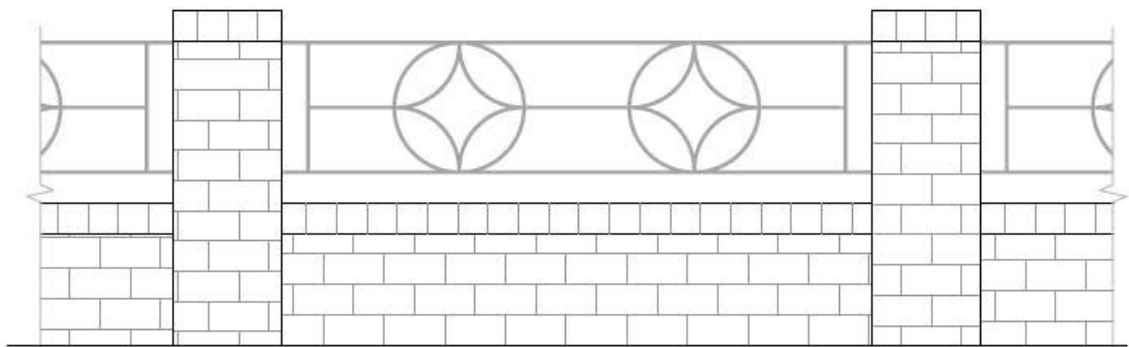
Victorian Buildings	timber picket fences or iron palisade fences, vertical emphasis
Federation Buildings	timber picket fences, timber picket fences on brick or stone base courses, brick or stone bases with iron panels, vertical emphasis
Inter-War Buildings	low brick fences, brickwork that matches brick detailing to the building, some detailing to brickwork such as curved bricks or corbelling, horizontal emphasis
- 4 Where possible, maintain continuous fence lines and heights within streetscapes.
- 5 The height limit of front fences within the Teralba HCA is 1.2 metres.



Victorian/Federation



Inter-War



Post-War

Plate 3.3 – Illustration of typical fence styles referred to in this Area Plan

3.2.6 SIGNAGE

Signage on heritage buildings for a commercial use, home business or home occupation needs to be of a standard and type that ensures the signs do not detract from the heritage significance of the building or heritage conservation values of the Teralba HCA.

Refer to Part 9 - Specific Land Uses – Signage of LMDCP 2014 for information about signage types.

Objectives

- a. To ensure that the design and configuration of signage positively contributes to the amenity of the building and streetscape of the heritage conservation area.
- b. To minimise incoherence of signage resulting from a proliferation of signs at the locality.

Controls

- 1 Identification signs – including nameplates on professional offices, community facilities, recreational facilities, or residences for home businesses – are limited to 0.6m², and one sign per street frontage.
- 2 Fascia signs must be located on an awning, and confined to the height of the awning and its length parallel to the street. They must not project more than 300 millimetres out from the fascia and/or walls, and must integrate with the design of the building.
- 3 Under awning signs must maintain a 2.6 metre clearance above ground level and must not project beyond the edge of the awning. They must be limited to one sign per street frontage located under or below the awning level, and are not to exceed 5m².
- 4 Parapet signs are to be aligned with the dimensions of windows or doors and be centred on the parapet. The content of the sign should be limited to the name or classification of the business.
- 5 Flush wall and hamper signs must not extend laterally from the wall, or beyond the edges of the wall. If internally illuminated, they must maintain a minimum of 2.6 metres above ground level and must not be flashing or moving signs. They must not exceed 25 percent of the wall space for each frontage.
- 6 Projecting wall signs are permissible above the awning where the parapet wall has sufficient height to ensure the sign is in proportion. Projecting wall signs are not to extend above the parapet height and are not to extend more than 750 millimetres from the face of the wall. The vertical dimension of the sign is to be equal to or greater than the horizontal dimension.

3.3 CONTROLS FOR HERITAGE ITEMS

Heritage items are those listed in LMLEP 2014 [Schedule 5], which have been identified as having heritage significance relating to the social, cultural, natural, or technical history of the local area. These include but are not limited to the 'Great Northern Hotel' (Item ID 161), 'House "AS"' (Item ID 164), and 'Teralba Public School' (Item ID 168).

Any proposals for development must achieve a reasonable balance between meeting amenity and contemporary needs, and protecting the heritage significance of the item.

3.3.1 LOCAL HERITAGE ITEMS

Objectives

The objectives of these controls are to ensure that development to heritage items:

- a. Encourages the retention of existing heritage items and their significant elements.
- b. Is based on the understanding and conservation of the heritage significance of the item.
- c. Encourages heritage items to be used for purposes that are appropriate to their heritage significance.
- d. Maintains the setting of the heritage item including the relationship between the item and its surroundings; and
- e. Encourages the removal of inappropriate alterations and additions, and the reinstatement of significant missing details and building elements.

Controls

- 1 Any development application involving a heritage item is to be accompanied by a heritage impact statement, conservation management plan, or conservation management strategy, depending on the scale of works.
- 2 Development to a heritage item is to:
 - i. Be consistent with an appropriate Heritage Impact Statement, Conservation Management Plan or Conservation Management Strategy;
 - ii. Protect the setting of the heritage item;
 - iii. Retain significant internal and external fabric and building elements;
 - iv. Retain significant internal and external spaces;
 - v. Remove unsympathetic alterations and additions;
 - vi. Reinststate missing details and building elements;
 - vii. Use materials, finishes and colours that are appropriate to the significant periods of development or architectural character of the item; and
 - viii. Respect the pattern, style and dimensions of original windows and doors.
- 3 Original room configuration should be retained in the first instance. Alterations to the room layout of heritage items are to ensure that the original room configuration remains discernible and can be interpreted.
- 4 If there is any likelihood of an impact on any significant archaeological relics from a period prior to the current building, development must ensure that the impact is managed according to the assessed level of significance of those relics.
- 5 Original and early trees, plantings, garden layouts and landscaping should be retained and traditional garden designs should be reinstated where possible.

3.3.2 CHANGING THE USE OF A LOCAL HERITAGE ITEM

Controls

- 1 Any proposal involving the change of use (including the adaptive reuse) of a heritage item is to demonstrate that:
 - i. the new use requires minimal alterations to significant fabric and building elements, and that any changes to these are reversible or have minimal impact on the heritage significance of the item
 - ii. any internal changes do not compromise the heritage significance and the external appearance of the building
 - iii. alterations and/or additions required to support the new use do not obscure the understanding of the building's significant use
 - iv. the introduction of new services will not have a detrimental impact on significant fabric or spaces, and
 - v. be consistent with a schedule of conservation works or conservation management plan, if available.
- 2 Proposals to change the use of public and community buildings must take into account the effect on significant interior elements and fittings.
- 3 The significant use of the building should be interpreted on site. Interpretation of the use may include the use of historic artefacts, the in-situ retention of machinery and signage, or artistic interpretation.

3.3.3 VICINITY CONTROLS

Development in the vicinity of a heritage item can often have an impact upon the heritage significance of the item, in particular through an impact on the setting of the item. Determining whether a property is within, or impacts upon, the setting of a heritage item is a necessary component of the site analysis of a proposal. Specialist heritage advice may need to be obtained in order to determine a property's setting. If in doubt, it is recommended that clarification be sought from the Council prior to preparing a development application.

The determination of the setting of a heritage item should consider the historical property boundaries, significant vegetation and landscaping, archaeological features, and significant views to and from the property.

Objectives

- a. The objective of these provisions is to ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.

Controls

- 1 Alterations and additions to buildings and structures, and new development of sites in the vicinity of a heritage item are to be designed to respect and complement the heritage item in terms of the:
 - i. building envelope;
 - ii. proportions;
 - iii. materials, colours and finishes; and
 - iv. building and street alignment.
- 2 Development in the vicinity of a heritage item is to minimise the impact on the setting of the item by:
 - i. providing an adequate area around the building to allow interpretation of the heritage item;
 - ii. retaining original or significant landscaping (including plantings with direct links or association with the heritage item);
 - iii. protecting (where possible) and allowing the interpretation of archaeological features; and
 - iv. retaining and respecting significant views to and from the heritage item.

3.4 CONTROLS BASED ON SIGNIFICANCE GRADINGS

Buildings and sites within the heritage conservation area are identified on the Building Contributions Map (Figure 2) as being Contributory 1, Contributory 2 or Non-Contributory to the character and heritage significance of the Teralba HCA. The following controls have been developed in response to these recognised levels of significance.

3.4.1 CONTRIBUTORY 1 BUILDINGS

Contributory 1 buildings are buildings that make an important and significant contribution to the character of the Teralba HCA. They have a reasonable to high degree of integrity and date from a key development period of significance.

Any proposals for development must achieve a reasonable balance between meeting amenity and contemporary needs, and protecting the heritage significance of the item.

Objectives

The objectives of these controls are to ensure that development to Contributory 1 buildings:

- a. encourages the retention of Contributory 1 buildings and their significant elements.
- b. is based on an understanding of the heritage significance of the building.
- c. encourages Contributory 1 buildings to be used for purposes that are appropriate to their heritage significance.
- d. maintains the setting of the Contributory 1 building, including the relationship between the building and its surroundings.

- e. encourages the removal of inappropriate alterations and additions, and the reinstatement of significant missing details and building elements
- f. encourages alterations and additions that retain and enhance the character of the building, the streetscape, and the broader HCA.

Controls

- 1 Works to Contributory 1 buildings must be undertaken in accordance with the controls contained within this DCP more broadly.
- 2 Works to Contributory 1 buildings are to be assessed in the form of a heritage impact statement to be submitted to Council as part of a development application.
- 3 Major works to Contributory 1 buildings (such as additions) should be informed by a conservation management schedule or conservation management plan.
- 4 Contributory 1 buildings are to be retained unless the consent authority determines that removal is justified in exceptional circumstances (e.g. based on soundly demonstrated structural, condition, or safety issues that preclude retention of the building.)
- 5 Original roof forms are to be retained and maintained to Contributory 1 buildings.
- 6 Additional storeys or changes to the existing height of Contributory 1 buildings are not appropriate.
- 7 Alterations or additions to Contributory 1 buildings are to:
 - i. respect the significant original or characteristic built form of the building
 - ii. retain significant fabric
 - iii. retain, and where possible, reinstate significant features and building elements (e.g. verandahs, fences, chimneys, joinery, architectural detailing)
 - iv. use appropriate and complementary materials, finishes and colours
 - v. respect the pattern, style, and dimensions of original windows and doors.
- 8 Alterations and additions must not significantly alter the appearance of principal or significant façades of Contributory 1 buildings, except to remove detracting or intrusive elements.
- 9 Additions are to be located to the rear of Contributory 1 buildings. Additions to the front or side of the building are not supported.
- 10 Additions to the rear of a Contributory 1 building are not to sit higher than the established roof form of the building. The addition should be designed so as to minimise its visibility from the streetscape and from within existing views to the building. The addition should not visually dominate the building. Consideration should be given to sightlines to additions from the streetscape.

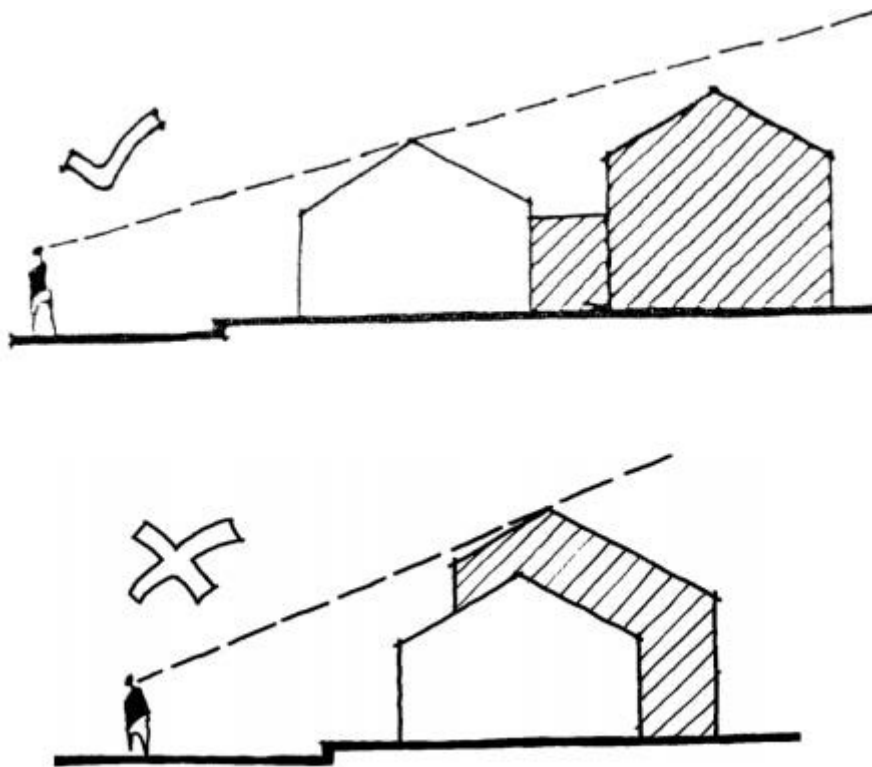


Plate 3.4 – Appropriate (top) and inappropriate (bottom) visibility of rear additions

- 11 Additions should be clearly discernible as new work and as a 'separate entity' to the building. This can be achieved through:
- i. a detached addition
 - ii. an addition that is attached via a breezeway or walkway
 - iii. small scale additions in the form of a lean-to or pavilion
 - iv. additions that maintain the scale and envelope of the building by making use of the underlying topography.

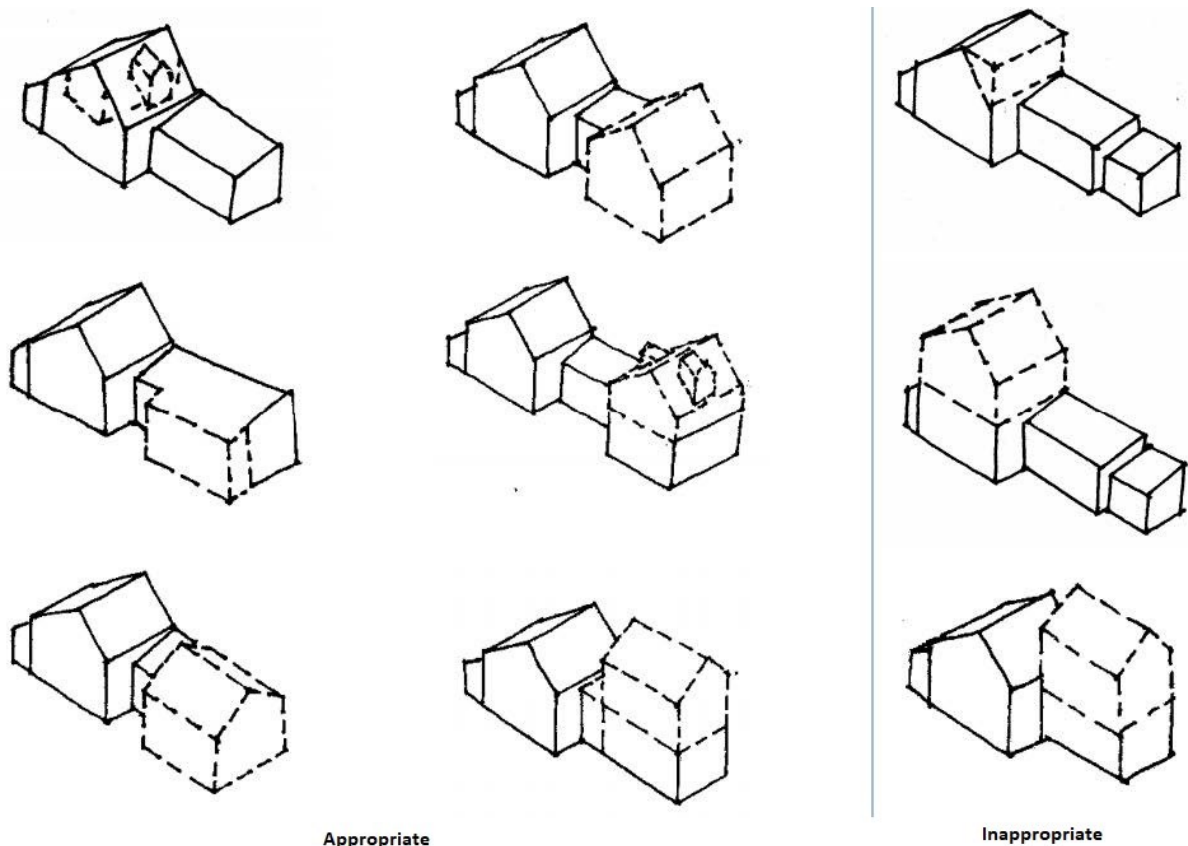


Plate 3.5 – Examples of appropriate additions (left of line) and inappropriate additions (right of line)

© Woollahra Municipal Council, available at: https://www.woollahra.nsw.gov.au/data/assets/pdf_file/0015/150531/Chapter_C2_Woollahra_HCA.pdf

- 12 The interface between additions and original building forms is to be made clear through an appropriate transition in materiality and/or design.
- 13 Physical intervention to Contributory 1 buildings to facilitate an addition must be carefully designed to minimise physical impacts and avoid, as much as is feasible, the removal of original fabric. The accompanying heritage impact statement must demonstrate the exploration of design options and justify the ultimate design outcome on the basis of minimising intervention.
- 14 Adaptive re-use proposals must aim to result in the least possible physical and visual impact. Significant fabric should be retained as part of any adaptive re-use, and changes concentrated in areas that have already been modified or are of lesser significance. The street presentation of the building must be maintained and, where possible, improved. An accompanying heritage impact statement must include a demonstration of how alternative proposals have been considered.
- 15 Works to the interiors of Contributory 1 buildings are to:
 - i. retain the original floor plan as much as is possible, where this is still discernible
 - ii. make attempts to interpret the original floor plan through design elements if changes to the original floor plan are proposed
 - iii. retain and conserve original fabric including flooring, joinery, decorative ceilings, fireplaces, etc, unless it is beyond repair. Any proposal that states that an original or significant element is beyond repair must be supported by an assessment provided by a suitably qualified professional such as a structural engineer.

3.4.2 CONTRIBUTORY 2 BUILDINGS

Contributory 2 buildings are buildings that do not detract from the significant character of the heritage conservation area or heritage streetscape. Buildings that do not belong to a key period of significance, good contemporary infill, and development from a key period of significance which has been irreversibly altered, are identified as Contributory 2.

Objectives

- a. To maintain the character and significance of the Teralba HCA through the management of Contributory 2 buildings.
- b. To encourage the removal of unsympathetic alterations and additions to improve the contribution of Contributory 2 buildings to the heritage conservation area.

Controls

- 1 The removal of intrusive or detracting features from a building graded as Contributory 2 is encouraged where this would improve the building's contribution to the heritage significance of the Teralba HCA.
- 2 Demolition of Contributory 2 buildings will only be considered where it can be demonstrated that the replacement building will not compromise the heritage significance of the heritage conservation area or heritage streetscape.
- 3 The redevelopment of sites that contain Contributory 2 buildings is to be undertaken in accordance with the controls contained within Section 3.1.4 of this Plan.
- 4 Works to Contributory 2 buildings must have regard for the surrounding streetscapes, nearby heritage items and Contributory 1 items, and overall heritage conservation area with regard to:
 - i. style, colour, materiality, form, scale and height
 - ii. views and vistas of significance
 - iii. the integrity and consistency of the surrounding streetscape.

3.4.3 NON-CONTRIBUTORY BUILDINGS

Non-Contributory buildings are buildings that are intrusive to a heritage conservation area or heritage streetscape because of inappropriate scale, bulk, setbacks, setting or materials. They do not represent a key period of significance and detract from the character of a heritage conservation area or heritage streetscape.

Objectives

- a. To encourage the sympathetic redevelopment of sites containing Non-Contributory buildings in a way which reinforces the heritage context of the area.
- b. To maintain the character and significance of the Teralba HCA through the management of Non-Contributory buildings.

Controls

- 1 The redevelopment of sites that contain Non-Contributory buildings is encouraged where the replacement building would make a more positive contribution to the heritage significance of the Teralba HCA.
- 2 The redevelopment of sites that contain Non-Contributory buildings is to be undertaken in accordance with the controls contained within Section 3.1.4 of this Plan.
- 3 Works to Non-Contributory buildings must have regard for the surrounding streetscapes, nearby heritage items and Contributory 1 items, and overall heritage conservation area with regard to:
 - i. style, colour, materiality, form, scale and height
 - ii. views and vistas of significance
 - iii. the integrity and consistency of the surrounding streetscape.

4 APPENDIX 1 – TABLE OF SIGNIFICANCE GRADINGS IN RELATION TO ADDRESSES WITHIN THE REVISED TERALBA HERITAGE CONSERVATION AREA PLAN

GISID	Significance Grading	Lot and DP	Address
GIS002	Contributory 1	2//DP204803	15 LAKE CRESCENT, TERALBA, NSW, 2284
GIS006	Contributory 1	18//DP770494	61A YORK STREET, TERALBA, NSW, 2284
GIS010	Contributory 1	2//DP795123	57A YORK STREET, TERALBA, NSW, 2284
GIS013	Contributory 1	2//DP795123	57A YORK STREET, TERALBA, NSW, 2284
GIS015	Contributory 1	1//DP782499	14A ANZAC PARADE, TERALBA, NSW, 2284
GIS016	Contributory 1	1//DP782499	14A ANZAC PARADE, TERALBA, NSW, 2284
GIS022	Contributory 1	1//DP199015	21 LAKE CRESCENT, TERALBA, NSW, 2284
GIS023	Contributory 1	3//DP152194	11 ANZAC PARADE, TERALBA, NSW, 2284
GIS025	Contributory 1	9//DP1119775	7 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS027	Contributory 1	1//DP999965	10A ANZAC PARADE, TERALBA, NSW, 2284
GIS028	Contributory 1	1//DP999965	10A ANZAC PARADE, TERALBA, NSW, 2284
GIS029	Contributory 1	1//DP999965	10A ANZAC PARADE, TERALBA, NSW, 2284
GIS031	Contributory 1	22//DP565832	38A YORK STREET, TERALBA, NSW, 2284
GIS032	Contributory 1	1//DP529730	42 YORK STREET, TERALBA, NSW, 2284
GIS033	Contributory 1	8//DP770167	9 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS035	Contributory 1	102//DP803595	18 YORK STREET, TERALBA, NSW, 2284
GIS039	Contributory 1	1//DP998424	23 ANZAC PARADE, TERALBA, NSW, 2284
GIS042	Contributory 1	17/D/DP447469	15 ANZAC PARADE, TERALBA, NSW, 2284
GIS044	Contributory 1	4//DP743305	48 WILLIAM STREET, TERALBA, NSW, 2284
GIS046	Contributory 1	1//DP152194	5 ANZAC PARADE, TERALBA, NSW, 2284
GIS047	Contributory 1	1//DP152194	5 ANZAC PARADE, TERALBA, NSW, 2284
GIS049	Contributory 1	101//DP803595	24 YORK STREET, TERALBA, NSW, 2284
GIS056	Contributory 1	16//DP1121668	25 MARGARET STREET, TERALBA, NSW, 2284
GIS059	Contributory 1	4//DP1128610	16 YORK STREET, TERALBA, NSW, 2284
GIS063	Contributory 1	10//DP1174502	WATERVIEW AGED CARE, 16 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS064	Contributory 1	10//DP1174502	WATERVIEW AGED CARE, 16 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS068	Contributory 1	16/H/DP447469	82 YORK STREET, TERALBA, NSW, 2284
GIS078	Contributory 1	21//DP565832	UNIT 1, 40 YORK STREET, TERALBA, NSW, 2284
GIS079	Contributory 1	17//DP816302	59 YORK STREET, TERALBA, NSW, 2284

GISID	Significance Grading	Lot and DP	Address
GIS080	Contributory 1	5//DP718389	46 WILLIAM STREET, TERALBA, NSW, 2284
GIS081	Contributory 1	10/D/DP447469	2 YORK STREET, TERALBA, NSW, 2284
GIS089	Contributory 1	7/D/DP447469	8 YORK STREET, TERALBA, NSW, 2284
GIS094	Contributory 1	9/D/DP447469	4 YORK STREET, TERALBA, NSW, 2284
GIS095	Contributory 1	104//DP874047	25 ANZAC PARADE, TERALBA, NSW, 2284
GIS097	Contributory 1	2//DP152194	7A ANZAC PARADE, TERALBA, NSW, 2284
GIS101	Contributory 1	15/D/DP447469	13 MARGARET STREET, TERALBA, NSW, 2284
GIS108	Contributory 1	6/D/DP447469	10 YORK STREET, TERALBA, NSW, 2284
GIS111	Contributory 1	271//DP740041	99 RAILWAY STREET, TERALBA, NSW, 2284
GIS112	Contributory 1	B//DP343316	35 RAILWAY STREET, TERALBA, NSW, 2284
GIS113	Contributory 1	101//DP1019230	19 VICTORIA STREET, TERALBA, NSW, 2284
GIS119	Contributory 1	1//DP797241	14 BLAIR STREET, TERALBA, NSW, 2284
GIS122	Contributory 1	1//DP196475	7 YORK STREET, TERALBA, NSW, 2284
GIS123	Contributory 1	261//DP554269	101 RAILWAY STREET, TERALBA, NSW, 2284
GIS124	Contributory 1	1//DP224000	53 RAILWAY STREET, TERALBA, NSW, 2284
GIS141	Contributory 1	124//DP630299	12 WILLIAM STREET, TERALBA, NSW, 2284
GIS145	Contributory 1	14//DP793628	9 YORK STREET, TERALBA, NSW, 2284
GIS146	Contributory 1	3/15/DP447469	11 NORTH STREET, TERALBA, NSW, 2284
GIS147	Contributory 1	A//DP343316	33 RAILWAY STREET, TERALBA, NSW, 2284
GIS150	Contributory 1	17/14/DP447469	3 YORK STREET, TERALBA, NSW, 2284
GIS157	Contributory 1	1//DP741587	36 WILLIAM STREET, TERALBA, NSW, 2284
GIS167	Contributory 1	13//DP737699	38 WILLIAM STREET, TERALBA, NSW, 2284
GIS168	Contributory 1	301//DP534410	67 RAILWAY STREET, TERALBA, NSW, 2284
GIS170	Contributory 1	1//DP597569	1 VICTORIA STREET, TERALBA, NSW, 2284
GIS171	Contributory 1	2//DP503080	2 BLAIR STREET, TERALBA, NSW, 2284
GIS187	Contributory 1	B//DP158170	37 YORK STREET, TERALBA, NSW, 2284
GIS192	Contributory 1	22//DP714592	8 WILLIAM STREET, TERALBA, NSW, 2284
GIS195	Contributory 1	1//DP798841	85 RAILWAY STREET, TERALBA, NSW, 2284
GIS197	Contributory 1	A//DP158170	2 SHORT STREET, TERALBA, NSW, 2284
GIS198	Contributory 1	161//DP622147	3 QUARRY ROAD, TERALBA, NSW, 2284
GIS199	Contributory 1	18/15/DP447469	3 BLAIR STREET, TERALBA, NSW, 2284
GIS200	Contributory 1	16/15/DP447469	7 BLAIR STREET, TERALBA, NSW, 2284
GIS201	Contributory 1	11/14/DP447469	15 YORK STREET, TERALBA, NSW, 2284
GIS209	Contributory 1	1//DP131451	5 VICTORIA STREET, TERALBA, NSW, 2284

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GIS211	Contributory 1	17/15/DP447469	5 BLAIR STREET, TERALBA, NSW, 2284
GIS212	Contributory 1	20/14/DP447469	4 NORTH STREET, TERALBA, NSW, 2284
GIS220	Contributory 1	6//DP1123064	5 NORTH STREET, TERALBA, NSW, 2284
GIS229	Contributory 1	8//DP1082388	1 NORTH STREET, TERALBA, NSW, 2284
GIS230	Contributory 1	5//DP1071840	47 YORK STREET, TERALBA, NSW, 2284
GIS231	Contributory 1	12//DP1089345	40 WILLIAM STREET, TERALBA, NSW, 2284
GIS235	Contributory 1	10//DP716248	34 HILLSIDE CRESCENT, TERALBA, NSW, 2284
GIS236	Contributory 1	1//DP716866	123 RAILWAY STREET, TERALBA, NSW, 2284
GIS237	Contributory 1	7//DP996947	131 RAILWAY STREET, TERALBA, NSW, 2284
GIS239	Contributory 1	B//DP157045	55 VICTORIA STREET, TERALBA, NSW, 2284
GIS240	Contributory 1	100//DP863559	12 RODGERS STREET, TERALBA, NSW, 2284
GIS242	Contributory 1	39/S/DP447469	53 VICTORIA STREET, TERALBA, NSW, 2284
GIS250	Contributory 1	1//DP783755	2 PARK STREET, TERALBA, NSW, 2284
GIS251	Contributory 1	6/A/DP447469	THE GREAT NORTHERN HOTEL, 2 ANZAC PARADE, TERALBA, NSW, 2284
GIS253	Contributory 1	1//DP995360	143 RAILWAY STREET, TERALBA, NSW, 2284
GIS254	Contributory 1	11/A/DP447469	67 YORK STREET, TERALBA, NSW, 2284
GIS257	Contributory 1	1//DP743752	4 PARK STREET, TERALBA, NSW, 2284
GIS260	Contributory 1	1//DP137204	2A PITT STREET, TERALBA, NSW, 2284
GIS263	Contributory 1	3//DP743567	17 JAMES STREET, TERALBA, NSW, 2284
GIS267	Contributory 1	19/T/DP447469	147 RAILWAY STREET, TERALBA, NSW, 2284
GIS268	Contributory 1	7//DP999919	3 JAMES STREET, TERALBA, NSW, 2284
GIS276	Contributory 1	10//DP711615	52 JAMES STREET, TERALBA, NSW, 2284
GIS279	Contributory 1	1//DP500798	12 AWABA STREET, TERALBA, NSW, 2284
GIS280	Contributory 1	8/K/DP447469	11 AWABA STREET, TERALBA, NSW, 2284
GIS282	Contributory 1	B//DP152777	7 AWABA STREET, TERALBA, NSW, 2284
GIS288	Contributory 1	2/C/DP447469	60 YORK STREET, TERALBA, NSW, 2284
GIS289	Contributory 1	1//DP997678	9 PITT STREET, TERALBA, NSW, 2284
GIS292	Contributory 1	13/U/DP447469	155 RAILWAY STREET, TERALBA, NSW, 2284
GIS294	Contributory 1	C//DP152777	5 AWABA STREET, TERALBA, NSW, 2284
GIS297	Contributory 1	7//DP1123952	18 AWABA STREET, TERALBA, NSW, 2284
GIS304	Contributory 1	18//DP1158353	75 YORK STREET, TERALBA, NSW, 2284
GIS305	Contributory 1	18//DP1158353	75 YORK STREET, TERALBA, NSW, 2284
GIS306	Contributory 1	5//DP996824	7 JAMES STREET, TERALBA, NSW, 2284

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GIS308	Contributory 1	15//DP1120836	2 AWABA STREET, TERALBA, NSW, 2284
GIS309	Contributory 1	20/T/DP447469	145 RAILWAY STREET, TERALBA, NSW, 2284
GIS311	Contributory 1	1//DP770087	25 JAMES STREET, TERALBA, NSW, 2284
GIS314	Contributory 1	1//DP196088	28 MARGARET STREET, TERALBA, NSW, 2284
GIS315	Contributory 1	1//DP196818	32 JAMES STREET, TERALBA, NSW, 2284
GIS331	Contributory 1	1//DP995596	4 AWABA STREET, TERALBA, NSW, 2284
GIS332	Contributory 1	2//DP136800	34 JAMES STREET, TERALBA, NSW, 2284
GIS336	Contributory 1	7/N/DP447469	46 JAMES STREET, TERALBA, NSW, 2284
GIS341	Contributory 1	2//DP1001465	STATION MASTERS COTTAGE RAILWAY STREET, TERALBA, NSW, 2284
GIS342	Contributory 1	12//DP1215442	33 YORK STREET, TERALBA, NSW, 2284
GIS343	Contributory 1	12//DP1215442	33 YORK STREET, TERALBA, NSW, 2284
GIS346	Contributory 1	2//SP95768	UNITS 1-4, 8 BLAIR STREET, TERALBA, NSW, 2284
GIS001	Contributory 2	1//DP197932	13 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS003	Contributory 2	A//DP159483	24 MARGARET STREET, TERALBA, NSW, 2284
GIS004	Contributory 2	22//DP617066	13 LAKE CRESCENT, TERALBA, NSW, 2284
GIS005	Contributory 2	A//DP162979	1 ANZAC PARADE, TERALBA, NSW, 2284
GIS007	Contributory 2	B//DP159483	24A MARGARET STREET, TERALBA, NSW, 2284
GIS008	Contributory 2	B//DP162979	3 ANZAC PARADE, TERALBA, NSW, 2284
GIS009	Contributory 2	50//DP774405	2E YORK STREET, TERALBA, NSW, 2284
GIS011	Contributory 2	1//DP782395	4 MARGARET STREET, TERALBA, NSW, 2284
GIS012	Contributory 2	1//DP1026267	9 LAKE CRESCENT, TERALBA, NSW, 2284
GIS014	Contributory 2	10//DP1008948	5 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS017	Contributory 2	2//DP742357	52 WILLIAM STREET, TERALBA, NSW, 2284
GIS018	Contributory 2	3//DP1003317	14 MARGARET STREET, TERALBA, NSW, 2284
GIS019	Contributory 2	2//DP211329	28 ANZAC PARADE, TERALBA, NSW, 2284
GIS020	Contributory 2	1//DP196987	12 YORK STREET, TERALBA, NSW, 2284
GIS021	Contributory 2	1//DP199744	4 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS030	Contributory 2	4//DP856222	57 WILLIAM STREET, TERALBA, NSW, 2284
GIS034	Contributory 2	6//DP735765	20 MARGARET STREET, TERALBA, NSW, 2284
GIS040	Contributory 2	4/G/DP447469	74 YORK STREET, TERALBA, NSW, 2284
GIS041	Contributory 2	11//DP1041376	2A MARGARET STREET, TERALBA, NSW, 2284
GIS043	Contributory 2	17/D/DP447469	15 ANZAC PARADE, TERALBA, NSW, 2284
GIS048	Contributory 2	1//DP856222	63 WILLIAM STREET, TERALBA, NSW, 2284

GISID	Significance Grading	Lot and DP	Address
GIS051	Contributory 2	15/C/DP447469	23 MARGARET STREET, TERALBA, NSW, 2284
GIS052	Contributory 2	14/D/DP447469	11 MARGARET STREET, TERALBA, NSW, 2284
GIS053	Contributory 2	CP//SP78992	UNITS 1-8, 11 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS054	Contributory 2	11//DP1120048	3 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS055	Contributory 2	4//DP1120582	6 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS057	Contributory 2	7//DP1121684	12 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS058	Contributory 2	7//DP1123615	22 MARGARET STREET, TERALBA, NSW, 2284
GIS061	Contributory 2	94//DP1159390	16 MARGARET STREET, TERALBA, NSW, 2284
GIS062	Contributory 2	10//DP1174502	WATERVIEW AGED CARE, 16 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS066	Contributory 2	10//DP1174502	WATERVIEW AGED CARE, 16 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS067	Contributory 2	12/A/DP447469	65 YORK STREET, TERALBA, NSW, 2284
GIS069	Contributory 2	4//DP1124678	8 MARGARET STREET, TERALBA, NSW, 2284
GIS072	Contributory 2	5/H/DP447469	8 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS073	Contributory 2	3//DP741480	50 WILLIAM STREET, TERALBA, NSW, 2284
GIS084	Contributory 2	10//DP1041376	2 MARGARET STREET, TERALBA, NSW, 2284
GIS086	Contributory 2	1//DP111617	UNIT 1, 6 YORK STREET, TERALBA, NSW, 2284
GIS087	Contributory 2	5//DP856222	55 WILLIAM STREET, TERALBA, NSW, 2284
GIS088	Contributory 2	12/D/DP447469	7 MARGARET STREET, TERALBA, NSW, 2284
GIS091	Contributory 2	13/D/DP447469	9 MARGARET STREET, TERALBA, NSW, 2284
GIS092	Contributory 2	102//DP874047	21A ANZAC PARADE, TERALBA, NSW, 2284
GIS096	Contributory 2	14/C/DP447469	21 MARGARET STREET, TERALBA, NSW, 2284
GIS099	Contributory 2	101//DP874047	TERALBA LAKESIDE CVAN PK UNIT 59, 21 ANZAC PARADE, TERALBA, NSW, 2284
GIS102	Contributory 2	1//DP195018	17 LAKE CRESCENT, TERALBA, NSW, 2284
GIS103	Contributory 2	3//DP998439	72 YORK STREET, TERALBA, NSW, 2284
GIS105	Contributory 2	1//DP211329	1 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS106	Contributory 2	16/D/DP447469	15 MARGARET STREET, TERALBA, NSW, 2284
GIS110	Contributory 2	111//DP810514	15 NORTH STREET, TERALBA, NSW, 2284
GIS114	Contributory 2	5//DP224000	61 RAILWAY STREET, TERALBA, NSW, 2284
GIS117	Contributory 2	2//DP831958	104 RAILWAY STREET, TERALBA, NSW, 2284
GIS118	Contributory 2	163//DP622147	61A RAILWAY STREET, TERALBA, NSW, 2284
GIS120	Contributory 2	2/15/DP447469	13 NORTH STREET, TERALBA, NSW, 2284

GISID	Significance Grading	Lot and DP	Address
GIS121	Contributory 2	1//DP797141	75 RAILWAY STREET, TERALBA, NSW, 2284
GIS127	Contributory 2	4//DP224000	59 RAILWAY STREET, TERALBA, NSW, 2284
GIS130	Contributory 2	3//DP831958	102 RAILWAY STREET, TERALBA, NSW, 2284
GIS135	Contributory 2	1//DP1013629	14 WILLIAM STREET, TERALBA, NSW, 2284
GIS138	Contributory 2	264//DP589460	115 RAILWAY STREET, TERALBA, NSW, 2284
GIS140	Contributory 2	1//DP797723	1 BLAIR STREET, TERALBA, NSW, 2284
GIS144	Contributory 2	1//DP503080	4 BLAIR STREET, TERALBA, NSW, 2284
GIS148	Contributory 2	7/15/DP447469	3 NORTH STREET, TERALBA, NSW, 2284
GIS151	Contributory 2	21//DP734496	111 RAILWAY STREET, TERALBA, NSW, 2284
GIS152	Contributory 2	16//DP1039910	5 YORK STREET, TERALBA, NSW, 2284
GIS153	Contributory 2	12/15/DP447469	10 BLAIR STREET, TERALBA, NSW, 2284
GIS155	Contributory 2	3//DP718263	31 YORK STREET, TERALBA, NSW, 2284
GIS156	Contributory 2	19/14/DP447469	2 NORTH STREET, TERALBA, NSW, 2284
GIS158	Contributory 2	1//DP502379	83 RAILWAY STREET, TERALBA, NSW, 2284
GIS160	Contributory 2	15/15/DP447469	9 BLAIR STREET, TERALBA, NSW, 2284
GIS161	Contributory 2	4//DP511756	107 RAILWAY STREET, TERALBA, NSW, 2284
GIS162	Contributory 2	5//DP880324	27 YORK STREET, TERALBA, NSW, 2284
GIS165	Contributory 2	1//DP531366	106 RAILWAY STREET, TERALBA, NSW, 2284
GIS166	Contributory 2	13/15/DP447469	12 BLAIR STREET, TERALBA, NSW, 2284
GIS169	Contributory 2	1//DP597569	1 VICTORIA STREET, TERALBA, NSW, 2284
GIS179	Contributory 2	12//DP856222	41 WILLIAM STREET, TERALBA, NSW, 2284
GIS180	Contributory 2	13//DP856222	39 WILLIAM STREET, TERALBA, NSW, 2284
GIS181	Contributory 2	15//DP856222	35 WILLIAM STREET, TERALBA, NSW, 2284
GIS182	Contributory 2	10//DP1109934	17 YORK STREET, TERALBA, NSW, 2284
GIS184	Contributory 2	21//DP1050117	6 WILLIAM STREET, TERALBA, NSW, 2284
GIS185	Contributory 2	14//DP856222	37 WILLIAM STREET, TERALBA, NSW, 2284
GIS186	Contributory 2	6//DP856222	53 WILLIAM STREET, TERALBA, NSW, 2284
GIS188	Contributory 2	10/15/DP447469	6 BLAIR STREET, TERALBA, NSW, 2284
GIS189	Contributory 2	8//DP856222	49 WILLIAM STREET, TERALBA, NSW, 2284
GIS190	Contributory 2	2//DP38687	119 RAILWAY STREET, TERALBA, NSW, 2284
GIS196	Contributory 2	10//DP856222	45 WILLIAM STREET, TERALBA, NSW, 2284
GIS202	Contributory 2	11//DP856222	43 WILLIAM STREET, TERALBA, NSW, 2284
GIS204	Contributory 2	5//DP719476	45 YORK STREET, TERALBA, NSW, 2284
GIS206	Contributory 2	9//DP856222	47 WILLIAM STREET, TERALBA, NSW, 2284

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GIS207	Contributory 2	A//DP449958	105 RAILWAY STREET, TERALBA, NSW, 2284
GIS213	Contributory 2	18/14/DP447469	1 YORK STREET, TERALBA, NSW, 2284
GIS215	Contributory 2	1//DP38687	117 RAILWAY STREET, TERALBA, NSW, 2284
GIS219	Contributory 2	9/14/DP447469	19 YORK STREET, TERALBA, NSW, 2284
GIS221	Contributory 2	2//DP1137722	95 RAILWAY STREET, TERALBA, NSW, 2284
GIS228	Contributory 2	29/14/DP447469	22 WILLIAM STREET, TERALBA, NSW, 2284
GIS232	Contributory 2	1//DP794987	4 WILLIAM STREET, TERALBA, NSW, 2284
GIS233	Contributory 2	12//DP1118708	77 RAILWAY STREET, TERALBA, NSW, 2284
GIS234	Contributory 2	7//DP856222	51 WILLIAM STREET, TERALBA, NSW, 2284
GIS243	Contributory 2	3//DP38687	121 RAILWAY STREET, TERALBA, NSW, 2284
GIS247	Contributory 2	9//DP745827	8 MYRTLE STREET, TERALBA, NSW, 2284
GIS248	Contributory 2	1//DP831957	152 RAILWAY STREET, TERALBA, NSW, 2284
GIS249	Contributory 2	13//DP628837	3 PARK STREET, TERALBA, NSW, 2284
GIS256	Contributory 2	B//DP159482	6 PITT STREET, TERALBA, NSW, 2284
GIS265	Contributory 2	1112//DP1060882	6 AWABA STREET, TERALBA, NSW, 2284
GIS269	Contributory 2	7//DP999919	3 JAMES STREET, TERALBA, NSW, 2284
GIS270	Contributory 2	6/C/DP447469	48 YORK STREET, TERALBA, NSW, 2284
GIS274	Contributory 2	11//DP551912	30 MARGARET STREET, TERALBA, NSW, 2284
GIS275	Contributory 2	4/A/DP447469	58 WILLIAM STREET, TERALBA, NSW, 2284
GIS277	Contributory 2	7/C/DP447469	44 YORK STREET, TERALBA, NSW, 2284
GIS283	Contributory 2	1//DP797885	1 AWABA STREET, TERALBA, NSW, 2284
GIS286	Contributory 2	18/T/DP447469	149 RAILWAY STREET, TERALBA, NSW, 2284
GIS287	Contributory 2	1//DP742345	20 AWABA STREET, TERALBA, NSW, 2284
GIS290	Contributory 2	B//DP163706	37 MARGARET STREET, TERALBA, NSW, 2284
GIS293	Contributory 2	12//DP551912	32 MARGARET STREET, TERALBA, NSW, 2284
GIS295	Contributory 2	14//DP1119604	153 RAILWAY STREET, TERALBA, NSW, 2284
GIS296	Contributory 2	2//DP1120757	70 YORK STREET, TERALBA, NSW, 2284
GIS301	Contributory 2	9//DP1136840	16 AWABA STREET, TERALBA, NSW, 2284
GIS303	Contributory 2	9//DP1146231	14 AWABA STREET, TERALBA, NSW, 2284
GIS310	Contributory 2	9//DP861693	71 YORK STREET, TERALBA, NSW, 2284
GIS312	Contributory 2	1//DP986124	22 AWABA STREET, TERALBA, NSW, 2284
GIS313	Contributory 2	5//DP715800	56 WILLIAM STREET, TERALBA, NSW, 2284
GIS316	Contributory 2	2//DP500798	10 AWABA STREET, TERALBA, NSW, 2284
GIS319	Contributory 2	1//DP205234	23 JAMES STREET, TERALBA, NSW, 2284

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GIS322	Contributory 2	C//DP159483	26 MARGARET STREET, TERALBA, NSW, 2284
GIS323	Contributory 2	1//DP745490	60 WILLIAM STREET, TERALBA, NSW, 2284
GIS324	Contributory 2	1//DP1039564	11 JAMES STREET, TERALBA, NSW, 2284
GIS325	Contributory 2	3//DP831957	150 RAILWAY STREET, TERALBA, NSW, 2284
GIS326	Contributory 2	10//DP861693	69 YORK STREET, TERALBA, NSW, 2284
GIS327	Contributory 2	1//DP196270	13 JAMES STREET, TERALBA, NSW, 2284
GIS337	Contributory 2	9/N/DP447469	50 JAMES STREET, TERALBA, NSW, 2284
GIS338	Contributory 2	6/N/DP447469	44 JAMES STREET, TERALBA, NSW, 2284
GIS340	Contributory 2		LAKE MACQUARIE RACING PIGEON CLUB, WILLIAM STREET, TERALBA, NSW, 2284
GIS344	Contributory 2	4//DP705888	WESTLAKES MINERS RET VLGE UNIT 6, 26 JAMES STREET, TERALBA, NSW, 2284
GIS024	Non-Contributory	101//DP774632	32 ANZAC PARADE, TERALBA, NSW, 2284
GIS026	Non-Contributory	6//DP999723	10 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS036	Non-Contributory	1//DP195555	26 ANZAC PARADE, TERALBA, NSW, 2284
GIS037	Non-Contributory	17/C/DP447469	27 MARGARET STREET, TERALBA, NSW, 2284
GIS038	Non-Contributory	102//DP774632	2 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS045	Non-Contributory	1//DP1039199	12 ANZAC PARADE, TERALBA, NSW, 2284
GIS050	Non-Contributory	1//DP193961	61 YORK STREET, TERALBA, NSW, 2284
GIS060	Non-Contributory	12//DP1136843	12 MARGARET STREET, TERALBA, NSW, 2284
GIS065	Non-Contributory	10//DP1174502	WATERVIEW AGED CARE, 16 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS070	Non-Contributory	5//DP1042961	10 MARGARET STREET, TERALBA, NSW, 2284
GIS071	Non-Contributory	1//DP531306	22 ANZAC PARADE, TERALBA, NSW, 2284
GIS074	Non-Contributory	9//DP731694	53 YORK STREET, TERALBA, NSW, 2284
GIS075	Non-Contributory	11//DP770487	19 LAKE CRESCENT, TERALBA, NSW, 2284
GIS076	Non-Contributory	101//DP611045	18 ANZAC PARADE, TERALBA, NSW, 2284
GIS077	Non-Contributory	1//DP506185	54 WILLIAM STREET, TERALBA, NSW, 2284
GIS082	Non-Contributory	2//DP531306	24 ANZAC PARADE, TERALBA, NSW, 2284
GIS083	Non-Contributory	2//DP531306	24 ANZAC PARADE, TERALBA, NSW, 2284
GIS085	Non-Contributory	13/C/DP447469	19 MARGARET STREET, TERALBA, NSW, 2284
GIS090	Non-Contributory	1//DP998733	14 YORK STREET, TERALBA, NSW, 2284
GIS093	Non-Contributory	102//DP874047	21A ANZAC PARADE, TERALBA, NSW, 2284
GIS098	Non-Contributory	103//DP774632	30 ANZAC PARADE, TERALBA, NSW, 2284

GISID	Significance Grading	Lot and DP	Address
GIS100	Non-Contributory	101//DP874047	TERALBA LAKESIDE CVAN PK UNIT 59, 21 ANZAC PARADE, TERALBA, NSW, 2284
GIS104	Non-Contributory	1//DP707178	5 MARGARET STREET, TERALBA, NSW, 2284
GIS107	Non-Contributory	5/G//DP447469	15 CUMBERLAND STREET, TERALBA, NSW, 2284
GIS109	Non-Contributory	1//DP1035251	16 ANZAC PARADE, TERALBA, NSW, 2284
GIS115	Non-Contributory	3//DP224000	57 RAILWAY STREET, TERALBA, NSW, 2284
GIS116	Non-Contributory	1//DP137365	109 RAILWAY STREET, TERALBA, NSW, 2284
GIS125	Non-Contributory	1//DP501304	103 RAILWAY STREET, TERALBA, NSW, 2284
GIS126	Non-Contributory	1//DP797014	89 RAILWAY STREET, TERALBA, NSW, 2284
GIS128	Non-Contributory	112//DP810514	4A WILLIAM STREET, TERALBA, NSW, 2284
GIS129	Non-Contributory	23//DP701202	47 RAILWAY STREET, TERALBA, NSW, 2284
GIS131	Non-Contributory	23//DP738898	10 WILLIAM STREET, TERALBA, NSW, 2284
GIS132	Non-Contributory	2//DP532970	UNIT 5, 39 YORK STREET, TERALBA, NSW, 2284
GIS133	Non-Contributory	91//DP717286	79 RAILWAY STREET, TERALBA, NSW, 2284
GIS134	Non-Contributory	100//DP551235	3 VICTORIA STREET, TERALBA, NSW, 2284
GIS136	Non-Contributory	4//DP831958	100 RAILWAY STREET, TERALBA, NSW, 2284
GIS137	Non-Contributory	1//DP532970	32 WILLIAM STREET, TERALBA, NSW, 2284
GIS139	Non-Contributory	62//DP522204	25 YORK STREET, TERALBA, NSW, 2284
GIS142	Non-Contributory	2//DP224000	55 RAILWAY STREET, TERALBA, NSW, 2284
GIS143	Non-Contributory	B//DP161511	20 WILLIAM STREET, TERALBA, NSW, 2284
GIS149	Non-Contributory	302//DP534410	65 RAILWAY STREET, TERALBA, NSW, 2284
GIS154	Non-Contributory	2//DP531366	108 RAILWAY STREET, TERALBA, NSW, 2284
GIS159	Non-Contributory	2//DP205073	23 YORK STREET, TERALBA, NSW, 2284
GIS163	Non-Contributory	A//DP161511	18 WILLIAM STREET, TERALBA, NSW, 2284
GIS164	Non-Contributory	2//DP207212	69 RAILWAY STREET, TERALBA, NSW, 2284
GIS172	Non-Contributory	13//DP770274	73 RAILWAY STREET, TERALBA, NSW, 2284
GIS174	Non-Contributory	26//DP741253	16 WILLIAM STREET, TERALBA, NSW, 2284
GIS175	Non-Contributory	31//DP733882	34 WILLIAM STREET, TERALBA, NSW, 2284
GIS176	Non-Contributory	5/15//DP447469	7 NORTH STREET, TERALBA, NSW, 2284
GIS178	Non-Contributory	1//DP158562	63 RAILWAY STREET, TERALBA, NSW, 2284
GIS183	Non-Contributory	1//DP794685	28B WILLIAM STREET, TERALBA, NSW, 2284
GIS193	Non-Contributory	1//SP31923	UNITS 1-2, 49 RAILWAY STREET, TERALBA, NSW, 2284
GIS194	Non-Contributory	3//DP207212	71 RAILWAY STREET, TERALBA, NSW, 2284
GIS203	Non-Contributory	2//DP784136	49 YORK STREET, TERALBA, NSW, 2284

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GIS205	Non-Contributory	82//DP1024061	24A WILLIAM STREET, TERALBA, NSW, 2284
GIS208	Non-Contributory	4/15//DP447469	9 NORTH STREET, TERALBA, NSW, 2284
GIS210	Non-Contributory	2//DP504387	44 WILLIAM STREET, TERALBA, NSW, 2284
GIS214	Non-Contributory	81//DP1024061	21 YORK STREET, TERALBA, NSW, 2284
GIS216	Non-Contributory	1//DP797632	11 YORK STREET, TERALBA, NSW, 2284
GIS217	Non-Contributory	12//DP734192	13 YORK STREET, TERALBA, NSW, 2284
GIS218	Non-Contributory	162//DP622147	1 QUARRY ROAD, TERALBA, NSW, 2284
GIS222	Non-Contributory	1//DP1137722	97 RAILWAY STREET, TERALBA, NSW, 2284
GIS223	Non-Contributory	41//DP1138394	87 RAILWAY STREET, TERALBA, NSW, 2284
GIS224	Non-Contributory	30/14//DP447469	24 WILLIAM STREET, TERALBA, NSW, 2284
GIS225	Non-Contributory	291//DP1144315	UNIT 12, 91 RAILWAY STREET, TERALBA, NSW, 2284
GIS226	Non-Contributory	291//DP1144315	UNIT 12, 91 RAILWAY STREET, TERALBA, NSW, 2284
GIS227	Non-Contributory	100//DP1148708	UNIT 5, 41 YORK STREET, TERALBA, NSW, 2284
GIS238	Non-Contributory	8//DP996519	129 RAILWAY STREET, TERALBA, NSW, 2284
GIS241	Non-Contributory	B//DP161256	133 RAILWAY STREET, TERALBA, NSW, 2284
GIS244	Non-Contributory	2//DP205234	21 JAMES STREET, TERALBA, NSW, 2284
GIS245	Non-Contributory	BL SP 47288	UNITS 1-11, 52 YORK STREET, TERALBA, NSW, 2284
GIS246	Non-Contributory	2//DP502391	151 RAILWAY STREET, TERALBA, NSW, 2284
GIS252	Non-Contributory	101//DP563412	68 YORK STREET, TERALBA, NSW, 2284
GIS255	Non-Contributory	A//DP159482	4 PITT STREET, TERALBA, NSW, 2284
GIS258	Non-Contributory	103//DP563412	39 MARGARET STREET, TERALBA, NSW, 2284
GIS259	Non-Contributory	C//DP159481	36 JAMES STREET, TERALBA, NSW, 2284
GIS261	Non-Contributory	3/T//DP447469	141 RAILWAY STREET, TERALBA, NSW, 2284
GIS262	Non-Contributory	102//DP563412	41 MARGARET STREET, TERALBA, NSW, 2284
GIS264	Non-Contributory	452//DP840966	31 MARGARET STREET, TERALBA, NSW, 2284
GIS266	Non-Contributory	12/U//DP447469	157 RAILWAY STREET, TERALBA, NSW, 2284
GIS271	Non-Contributory	3/C//DP447469	56 YORK STREET, TERALBA, NSW, 2284
GIS272	Non-Contributory	1//DP1001465	128 RAILWAY STREET, TERALBA, NSW, 2284
GIS273	Non-Contributory	A//DP161256	135 RAILWAY STREET, TERALBA, NSW, 2284
GIS278	Non-Contributory	A//DP152777	9 AWABA STREET, TERALBA, NSW, 2284
GIS281	Non-Contributory	4//DP741751	19 JAMES STREET, TERALBA, NSW, 2284
GIS284	Non-Contributory	1//DP799110	5 JAMES STREET, TERALBA, NSW, 2284

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GIS285	Non-Contributory	21/C/DP447469	35 MARGARET STREET, TERALBA, NSW, 2284
GIS291	Non-Contributory	1//DP780581	6 PARK STREET, TERALBA, NSW, 2284
GIS298	Non-Contributory	20//DP1118979	15 JAMES STREET, TERALBA, NSW, 2284
GIS299	Non-Contributory	1//DP1124873	64 YORK STREET, TERALBA, NSW, 2284
GIS300	Non-Contributory	2//DP513459	139 RAILWAY STREET, TERALBA, NSW, 2284
GIS302	Non-Contributory	5//DP1136758	5 PITT STREET, TERALBA, NSW, 2284
GIS307	Non-Contributory	4//DP1092721	9 JAMES STREET, TERALBA, NSW, 2284
GIS320	Non-Contributory	BL SP 64421	UNITS 1-9, YORK STREET, TERALBA, NSW, 2284
GIS321	Non-Contributory	BL SP 64421	UNITS 1-9, YORK STREET, TERALBA, NSW, 2284
GIS328	Non-Contributory	1//DP318671	30 JAMES STREET, TERALBA, NSW, 2284
GIS329	Non-Contributory	1//DP513459	137 RAILWAY STREET, TERALBA, NSW, 2284
GIS330	Non-Contributory	1//DP744504	7 PITT STREET, TERALBA, NSW, 2284
GIS333	Non-Contributory	B//DP159481	38 JAMES STREET, TERALBA, NSW, 2284
GIS334	Non-Contributory	A//DP159481	40 JAMES STREET, TERALBA, NSW, 2284
GIS335	Non-Contributory	8/N/DP447469	48 JAMES STREET, TERALBA, NSW, 2284
GIS339	Non-Contributory	5/N/DP447469	42 JAMES STREET, TERALBA, NSW, 2284
GIS347	Non-Contributory		29 MARGARET STREET, TERALBA, NSW, 2284
GIS173	Not Assessed	20//DP734496	113 RAILWAY STREET, TERALBA, NSW, 2284
GIS177	Not Assessed	1//DP309986	39 RAILWAY STREET, TERALBA, NSW, 2284
GIS191	Not Assessed	1//DP504387	42 WILLIAM STREET, TERALBA, NSW, 2284
GIS345	Not Assessed	4//DP705888	WESTLAKES MINERS RET VLGE UNIT 6, 26 JAMES STREET, TERALBA, NSW, 2284