

- Warners Bay
- Glendale
- Swansea
- Toronto
- Morisset

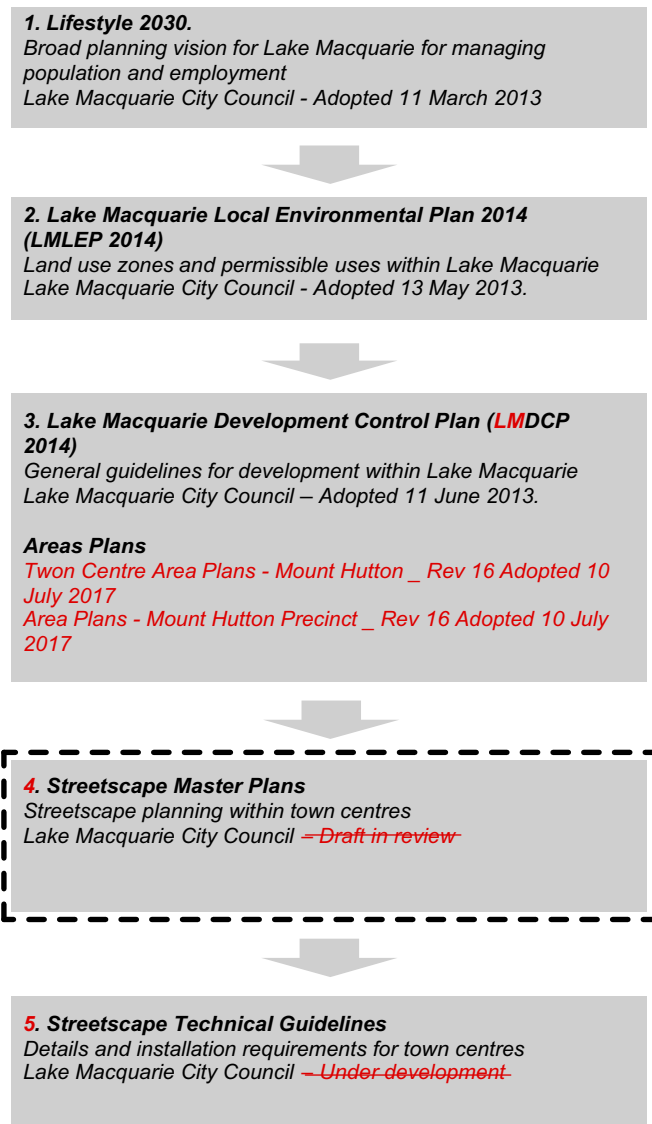
MOUNT HUTTON STREETScape MASTER PLAN

Issue 1 Version 2 - December 2017



- Belmont
 - Cardiff
 - Charlestown
-
- A collage of four landscape images: top-left shows a curved concrete path; top-right shows a dense forest of tall, thin trees; bottom-left shows a paved path with trees and a building; bottom-right shows a modern building with a landscaped courtyard.

PLANNING CONTROLS



Note:
Check LMCC website www.lakemac.com.au for current versions of planning control documents.

Issue	Ver.	Date	Notes
01	01	2015 - JUN	Adopted by Council
	02	2017 - Dec	Revised following adoption of Mount Hutton Town Centre Area Plan Rev 16, Mount Hutton Precinct Area Plan Rev 16 and the Mount Hutton Streetscape Technical Guidelines

LAKE MACQUARIE TOWN CENTRE STREETScape MASTER PLANS

The 2008/2009 Management Plan and Budget identified the need to provide high quality public domains and a city identity. The Streetscape Master Plans provide a document that identifies this vision and provides a plan for its implementation. The Streetscape Master Plans are intended to improve the aesthetic appearance of the town centres, promote the areas personality, increase opportunity, accessibility, functionality, economic effect and provide a modern easily maintainable public domain.

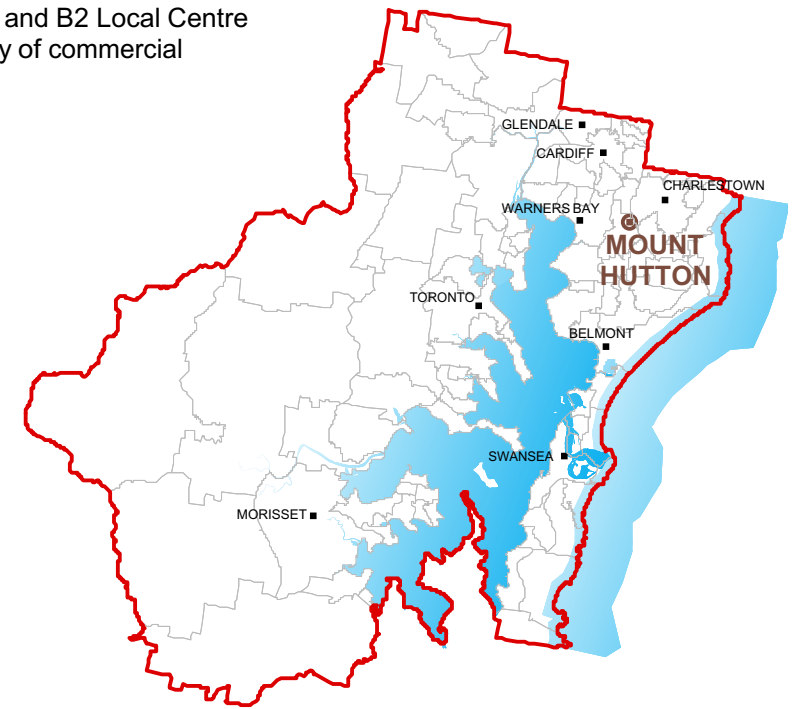
The Streetscape Master Plans ensure a unified approach to undertaking public domain works by Council, developers and the community. It also assists in directing public and private investments and will inform the chamber of commerce in the preparation of strategic plans.

The Streetscape Master Plans are substantially focused on the areas currently zoned B1 Neighbourhood and B2 Local Centre under the Lake Macquarie LEP 2014. These are the areas of each of the town centres where the majority of commercial activity will occur. These areas are also the most likely to undergo change in the future.

The consideration and collation of all relevant issues resulted in this overall priority order for the Streetscape Master Plans for Lake Macquarie City's nine major town centres:

1. Charlestown - completed and adopted by Council.
2. Cardiff - completed and adopted by Council.
3. Belmont - completed and adopted by Council.
4. Toronto - completed and adopted by Council.
5. Morisset - completed and adopted by Council.
6. Warners Bay - completed and adopted by Council.
7. Swansea - under development.
8. Mount Hutton - Under development.
9. Glendale - to future design.

The priority order adopted by Council has been adjusted for the 2014/2015 financial year to prioritise Mount Hutton ahead of Glendale (as shown above) due to the impact of the Lake Macquarie Transport Interchange on the Glendale Town Centre.



OBJECTIVES OF TOWN CENTRE STREETScape MASTER PLANS

- * To provide a clear vision and identity for each town centre
- * To provide a clear guide for Council, the community and developers
- * To create vibrant active town centres
- * To provide consistencies within Lake Macquarie
- * To preserve and enhance the uniqueness of Lake Macquarie's town centres
- * To ensure high quality outcomes
- * To reduce asset maintenance costs

EXTENT OF TOWN CENTRE STREETScape MASTER PLANS

Generally aligned with the Area Plan, the areas covered by the Streetscape Master Plan are the public areas owned and /or managed by council. The focus is on the streetscape elements within the road reserve and include street trees, tree guards, furniture, bins, bike racks, drinking fountains, bollards, lighting, paving, public art and town centre signage.

For consistency the streetscape treatments should be extended onto private land at building setbacks, building forecourts, arcade entrances, pedestrian lanes etc. and where logical to address pedestrian links. These details will be resolved through the development application (DA) process.

New developments need to address the streetscape as prescribed by this plan. Items and selections nominated in this plan will be reviewed periodically by LMCC in accordance with relevant legislation.

TOWN CENTRE PERSONALITIES

Town centre personalities have been developed for the nine town centres. These have been derived to provide a strong town centre identity and theme for enhancing character, heritage and sense of place. The nine main town centres personalities are:

- Charlestown** - the Central Business District
- Cardiff** - the Skills & Trades Centre
- Belmont** - the Activity Centre
- Toronto** - the Lakeside Village
- Morisset** - Nurtures the Spirit of Community
- Warners Bay** - the Lifestyle Centre
- Swansea** - the Seaside Village
- Mount Hutton** - the Growing Community
- Glendale** - the Dynamic Services Hub

MOUNT HUTTON STREETScape MASTER PLAN

MOUNT HUTTON'S OBJECTIVES / VISION

- To provide a structure for Mount Hutton as the "Growing Community".
- To enhance the character of Mount Hutton.
- To increase the pedestrian amenity throughout the centre.
- To create links between the different commercial sections of Mount Hutton.
- To create clean lines and reduce street clutter.
- To create hubs for alfresco dining along Wilsons Road.
- To increase native vegetation throughout the town centre.
- To relocate services underground where feasible to improve public amenity.

GENERAL TOWN CENTRE OBJECTIVES / VISION

- To create a vibrant new town centre.
- To enhance safety and accessibility.
- To create a walkable connected town centre.
- To create a consistent character.
- To link key areas.
- To provide a sustainable environment.
- To provide facilities for public art.
- To provide high quality furniture, lighting and paving.
- To enhance the character of streets surrounding the commercial areas.
- To provide for transport options in the town centre.
- To promote walking, cycling and public transport.
- Use of water sensitive urban design principles to minimise storm water impacts and improve street amenity.
- To activate the precinct as a safe and inviting destination.

CONSTRAINTS

- Disconnected hubs throughout the town centre.
- Steep verges through the town centre restricting safe pedestrian movements.
- Drainage infrastructure dissecting the town centre.
- Inwardly focused major shopping centre providing little interaction with surrounding streets.

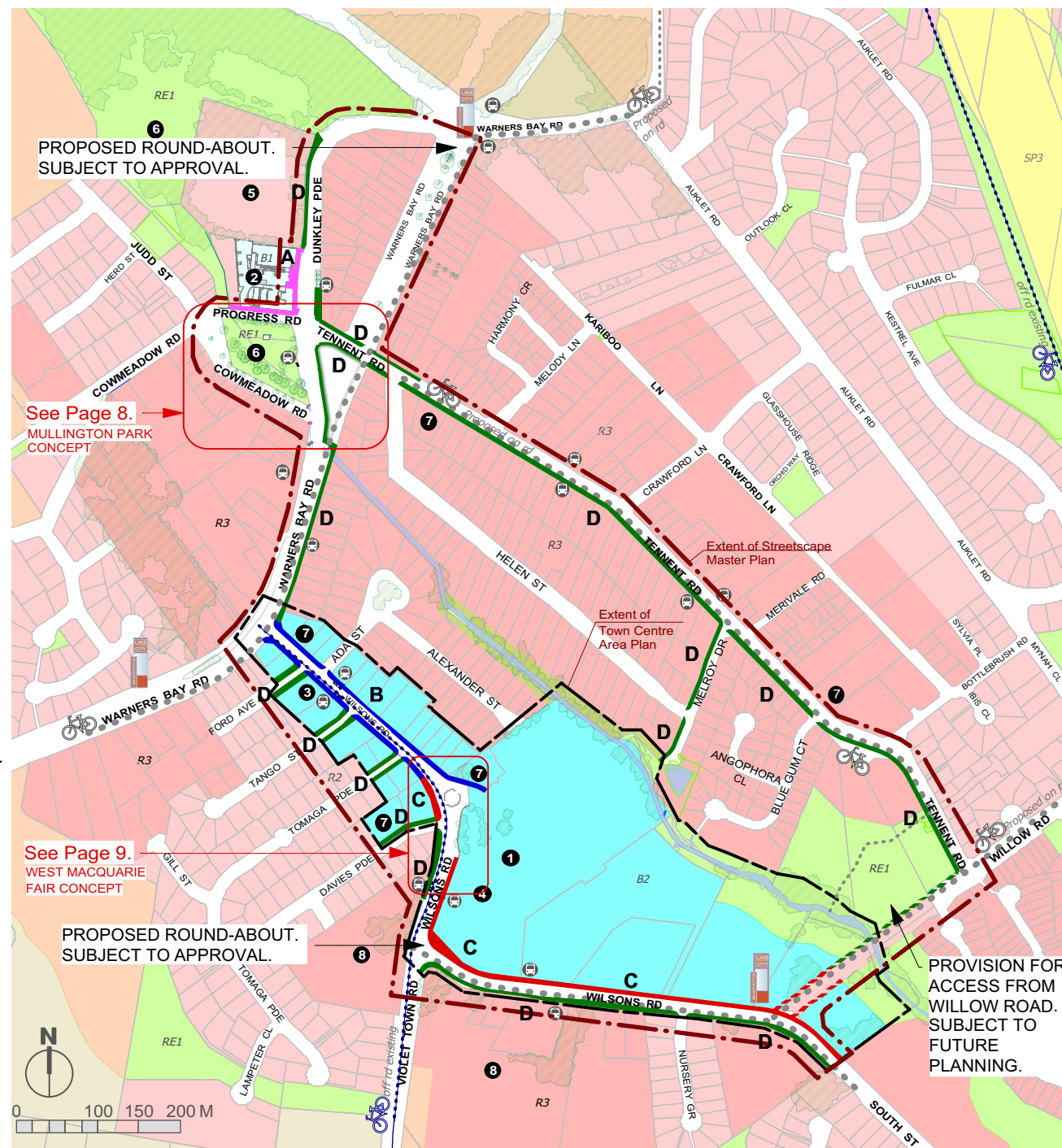
ADDITIONAL PLANNING CONSIDERATIONS FOR MOUNT HUTTON STREETScape MASTER PLAN:

Note: Refer Page 1 for Planning Controls.

- Mount Hutton Town Centre Area Plan
- Mount Hutton Precinct Area Plan
- LMCC Cycling Strategy 2021
- LMCC Public Art Strategy
- LMCC Footpath Strategy
- LMCC Draft Footpath Dining Policy
- Public Art Policy
- Asset Management Plans - Current conditions and replacement schedule - Draft.
- Section 94 Catchment Contribution Plans

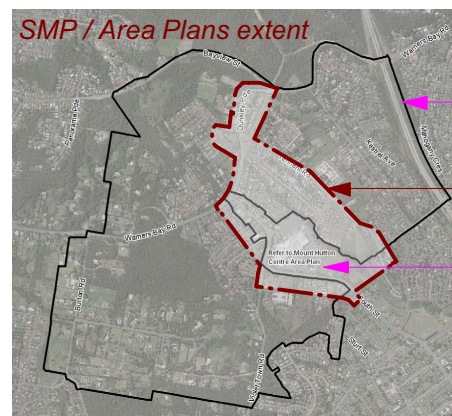
These documents have been reviewed and considered as part of this plan. Where these initiatives or any others are adopted or modified the Streetscape Master Plan should be updated to reflect this.

The Master Plan has been developed from on-site observations, cadastral plans and aerial photographs. Dial Before You Dig (DBYD) service information has been reviewed and considered. It is the responsibility of the planners, developers, and contractors to accurately locate services and adopt this Master Plan for individual sites. The details are indicative and to be used as a guide only. Measurements may vary on site.



Street Tree Master Plan see page 10.

MP Mount Hutton Streetscape Master Plan
1:7500 at A3



- Precinct Area Plan (separate document)
- Streetscape Master Plan
- Town Centre Area Plan (separate document)

LEGEND

- Extent of Streetscape Master Plan
- A** Street Type A - Dunkley Parade Village
- B** Street Type B - Wilsons Road Major (west)
- C** Street Type C - Wilsons Road Minor (east)
- D** Street Type D - CBD Support Areas
- Street Type E (remaining areas)
To LMCC Footpath Policy
- Existing Tree Groupings & Green Corridors
- Existing Drainage Line or Water Way
- Bus Stop
- 1 Macquarie Fair Shopping Centre
- 2 Dunkley Parade Shopping Village
- 3 Wilsons Road Shopping Village
- 4 Post Office
- 5 School
- 6 Park / Parklands
- 7 Child Day Care
- 8 Seniors Living Village
- Town Entry Signage

Exculsion from this master plan:

- Extent of Town Centre Area Plan 2016 (separate document)
- Off-Road Cycle Way -Existing on Precinct Area Plan 2017 (separate document)
- On-Road Cycle Way -Proposed on Precinct Area Plan 2017 (separate document)

LEP 2014 Planning Zones: (separate document)

- B2 B2 Local Centre
- R2 R2 Low Density Residential
- R3 R3 Medium Density Residential
- E2 Environmental Conservation
- E4 Environmental Living
- RE1 RE1 Public Recreation
- SP3 SP3 Infrastructure

Street Type A - Dunkley Parade Village

DESCRIPTION

The northern commercial district of Mount Hutton. Bordered by Dunkley Parade and Progress Road currently contains small specialty shops, and a large supermarket. The area is close to parks, sporting fields and a school. Dunkley Parade forms a major entry into Mount Hutton. A recent upgrade of the precinct surrounding the supermarket helps define the proposed street character.

OBJECTIVES

To create a neighbourhood hub with strong connections to other areas of the town centre.
Provide an entry into Mount Hutton town centre.
Use of street trees to provide unity to the streetscape
Provide on-street car parking.

EXISTING CONSTRAINTS

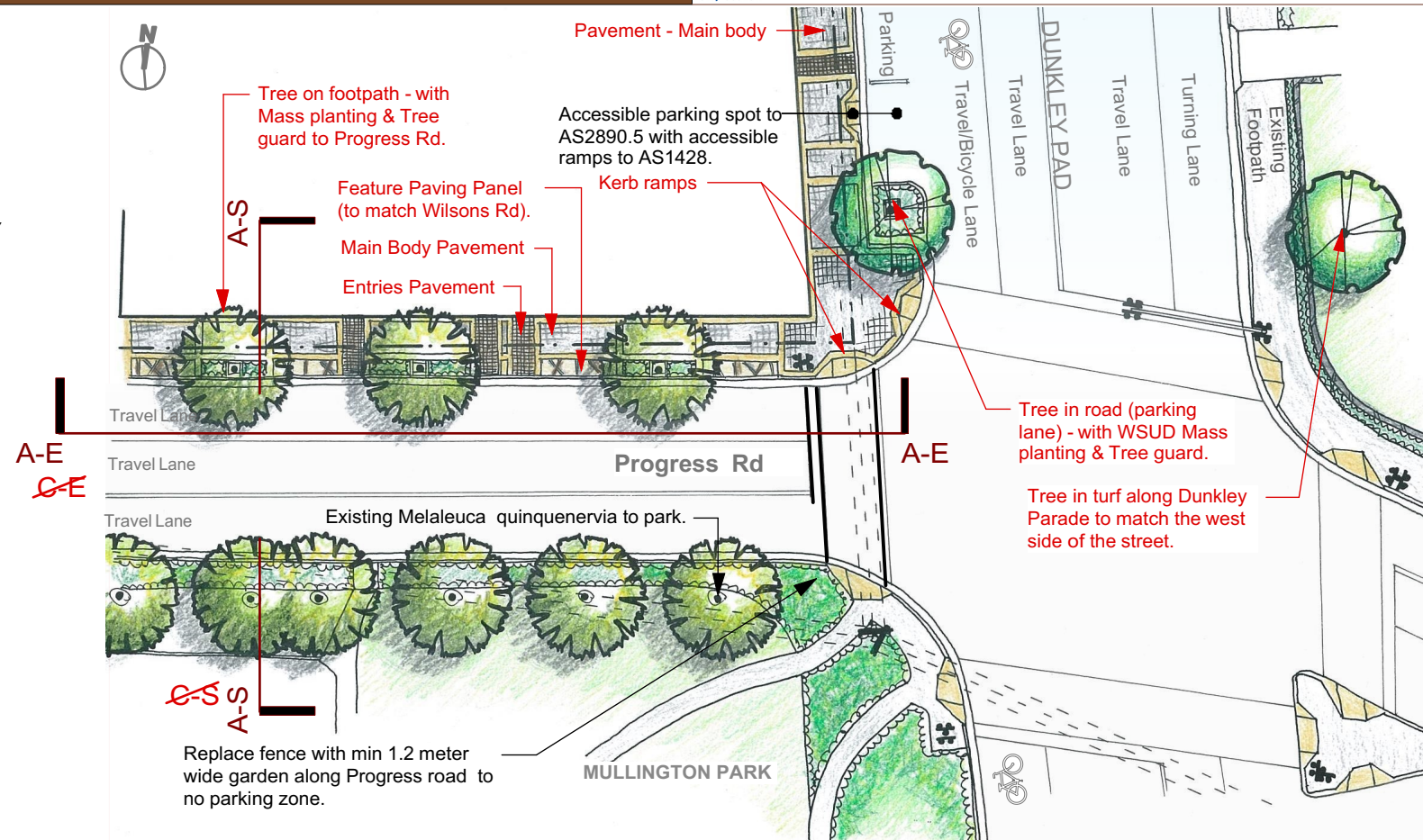
Predefined landscape palette surrounding the supermarket.
Overhead power lines along Dunkley Parade.
Under performing landscaping around new supermarket has caused stunted tree growth and creates an area exposed to the elements. Planter bed placement near fences and walls permits unintended access to neighbouring properties.

DESIGN RESPONSE

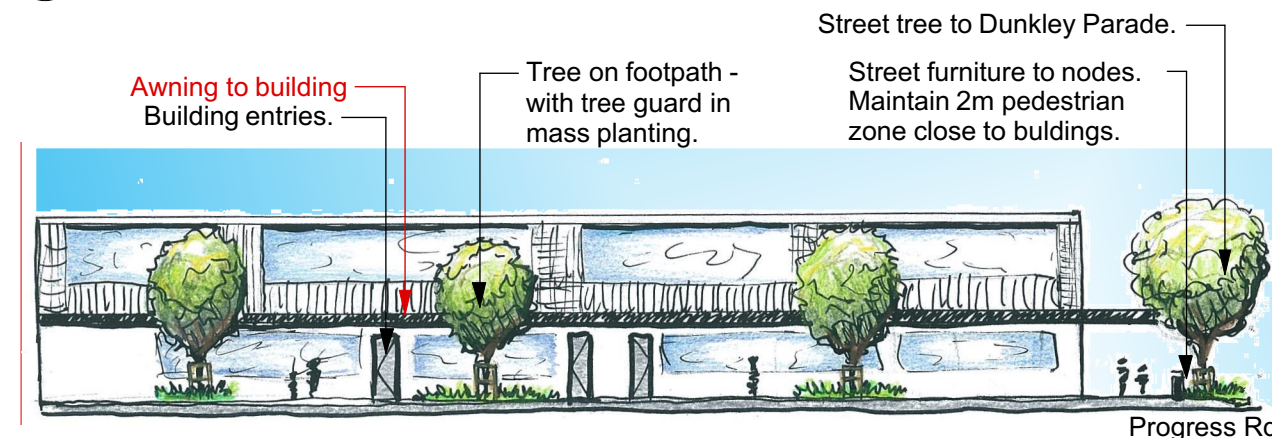
Provide a planting plan to create a gateway for motorist & pedestrians moving through the area. The use of WSUD tree pits where appropriate. Adopt pavement selections to reflect previous developments within the area. Plan to Council's standards to ensure the success of the landscape.

TYPICAL DIMENSIONS

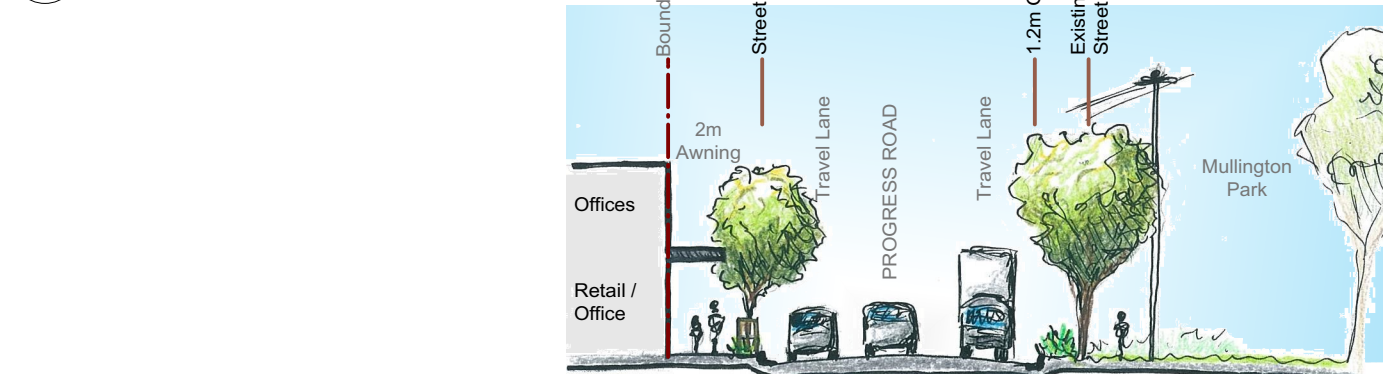
Road reserve width: 20.2 m (typical).
Verge width: 2.2 to 5.0m (South), 3.2 to 4.5m(North).
LEP Zone: B2 Local Centre.
Adjacent landuse(s): Low and medium residential.



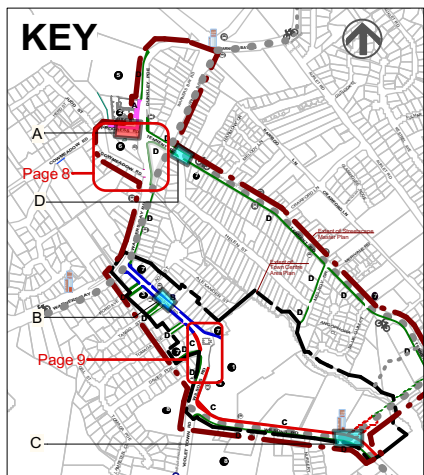
A-P Typical Plan - Street Type A
NTS at A3



A-E Typical Elevation - Street Type A
NTS at A3



A-S Typical Section - Street Type A
NTS at A3



Materials and Furniture Selections

NOTE: Full details are provided in a separate document - Mount Hutton Streetscape Technical Guidelines (MHSTG).

FURNITURE

Furniture to be clustered at prominent locations like facilities, bus stop, planters, shop entries to create activity nodes. Placement of furniture to maintain a 1.5m(W) x 2m(H) continuous path of travel (Obstruction free space) along the building line in accordance with AS1428.4.

Custom Elements- deleted

Seats - Standard

Locations: At key locations identified by LMCC.
Selection: Aluminum seat with backrest & armrests.

Waste Receptacles

Locations: At key locations including bus stops, taxi stands, outside food outlet areas.

Selection: Fire proof anodized aluminum bin enclosure. Grey Smoke colour with clear colour hood.

Bike Racks

Locations: At key locations like hubs & alfresco dining.

Drinking Fountains

Locations: At key locations like local hubs or near pedestrian & cycle routes.

Bollards- Standard

Locations: Where required to prevent & deter vehicle and/or pedestrian access.

PAVEMENT

Main Body: 2.5m wide path; Charcoal Segmental pavers 400x400mm with Border & Bandings.

Border & Banding: 400x400mm brown Segmental pavers.

Feature Paving Panel: Combined Concrete Pavements of different colours and textures - to create three types of angular bandings patterns; refer MHSTG for typical detail. Panels at approximately 12m intervals.

Corner Treatment: Continue Main Body / Feature Paving Panel to the edge as spacing allows.

Entries (to multi business complexes or large development): Brown Segmental pavers; 400x400mm.

Kerb ramps: Concrete pavement - Sand Coloured

Driveway Crossover: Concrete pavement - Standard; to be level with surrounding footpath.

Tactile Ground Surface Indicator (TGSi): Charcoal Segmental pavers, 400x400mm, set-out to AS1428.4.

LIGHTING (Street Lighting & Pedestrian Lighting)

Location: Where required to AS1158.3.1

No selection, see MHSTG for guidance.

STREET TREE PLANTING

Street Trees Species & spacings: Refer to Street Tree Master Plan within this plan.

Tree on footpath: Yes. Refer to MHSTG.

Tree in turf: Yes. Refer to MHSTG.

Tree guard: Standard, refer to MHSTG.

Street Type B - Wilsons Road Major

DESCRIPTION

Located between Warners Bay Road and the round-about entry into Macquarie Fair. Currently a mix of residential and commercial premises, the area experiences a steady level of vehicular traffic and moderate pedestrian use. Power lines extend along the south side of the street. No uniform street trees exist.

OBJECTIVES

To create a strong sense of place with uniform treatments to either side of the street.
 Increase pedestrian amenity throughout the street with connections to the spaces beyond.
 Provide opportunities for WSUD principles within the streetscape.
 Apply CPTED principles to create a safe and inviting landscape that will get high levels of use.

EXISTING CONSTRAINTS

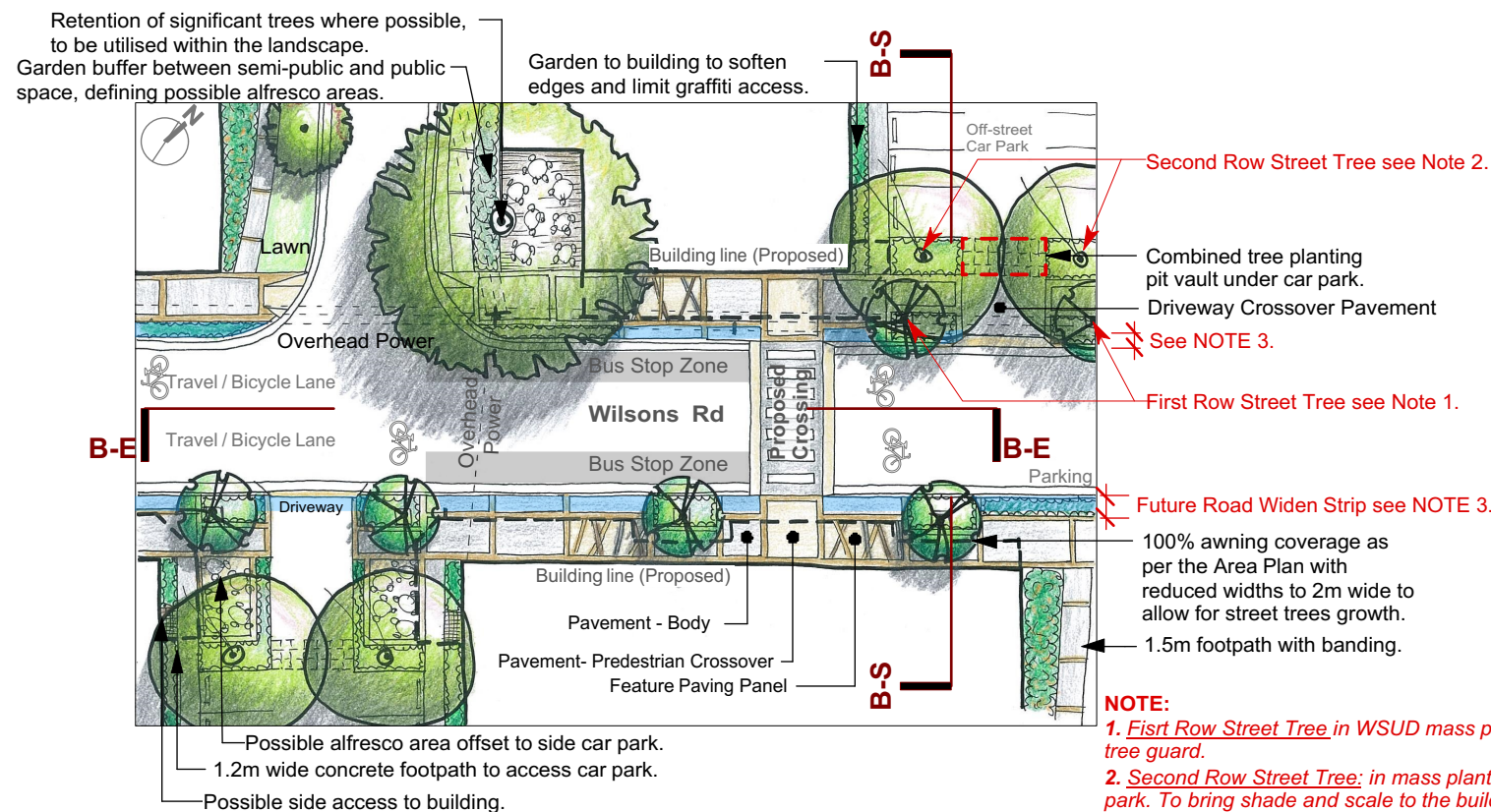
Cross levels along the verge, from the kerb to the property boundary.
 Existing services within the verge.
 Limited pedestrian connections to either side of the street.
 Power lines to the southern side of the street.
 Road widths not suitable for a council collector road with bus route and/or cycle lane under the LMCC DCP No. 1.

DESIGN RESPONSE

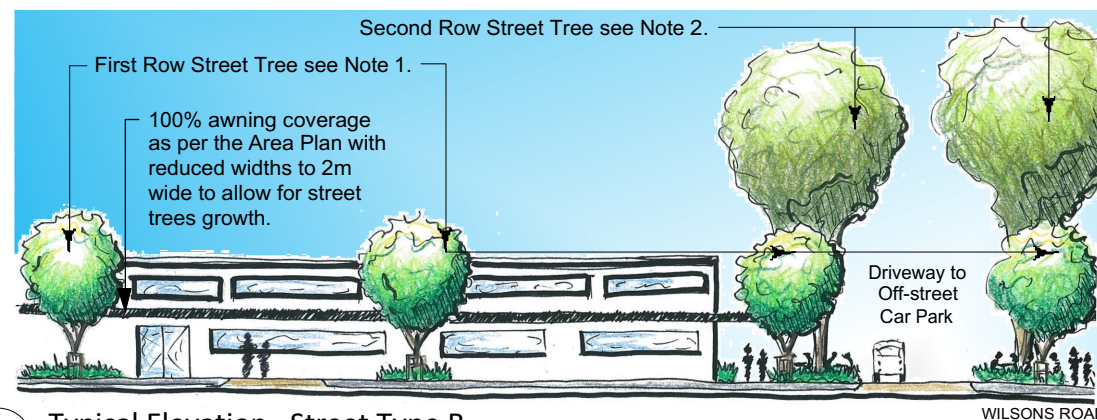
Wide coloured concrete with banding & header courses.
 Feature concrete panels to be spaced periodically along the street. Soft landscaping with deep soil planting to blend the public and semi-public spaces. Large trees to provide shade and structure to the street within the off-street car parks.
 It is proposed that the street be widened to 13 meters, allowing for on street parking while permitting bus and cycle use of the street.

TYPICAL DIMENSIONS

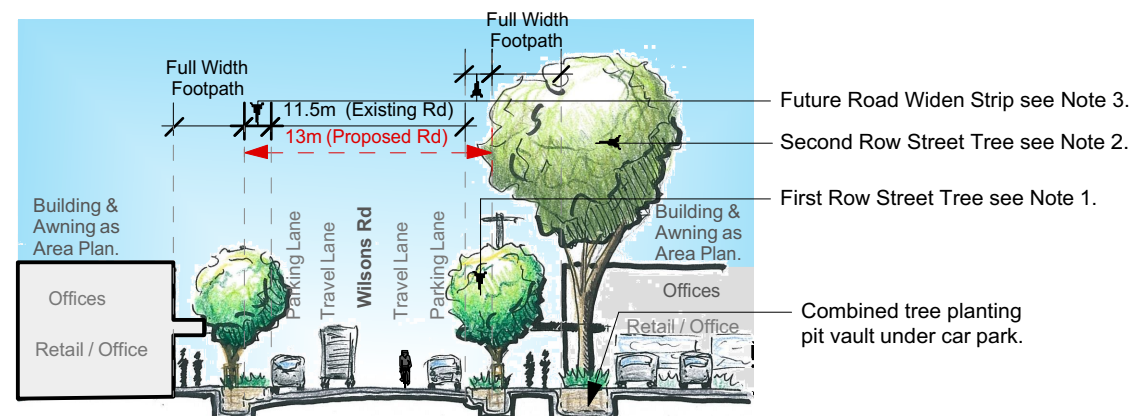
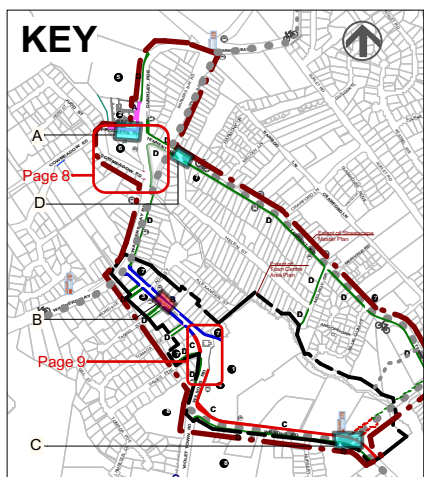
Road reserve width: 20.3 m (typical).
 Verge width (Existing): 4.9m (South), 4.1 (North).
 Verge width (Proposed): 3.8m (South), 3.5m (North).
 LEP Zone: B2 Local Centre.
 Adjacent landuse(s): Low and medium residential.



B-P Typical Plan - Street Type B
NTS at A3



B-E Typical Elevation - Street Type B
NTS at A3



B-S Typical Section - Street Type B
NTS at A3

Materials and Furniture Selections

NOTE: The following provide general guidelines for the location of furniture elements and pavement treatments. Specific locations for furniture items are to be determined by LMCC at detailed design stage. Additional furniture items may be required for some developments.

Refer to the Mount Hutton Streetscape Technical Guidelines for specification guidance on streetscape elements and paving.

FURNITURE

Furniture to be clustered at prominent locations like facilities, bus stop, planters, shop entries to create activity nodes. Placement of furniture to maintain a 1.5m(W) x 2m(H) continuous path of travel (Obstruction free space) along the building line in accordance with AS1428.4.

Custom Elements- deleted

Seats - Standard

Locations: At key locations identified by LMCC.

Selection: Aluminum seat with backrest & armrests.

Waste Receptacles

Locations: At key locations including bus stops, taxi stands, outside food outlet areas.

Selection: Fire proof anodized aluminum bin enclosure. Grey Smoke colour with clear colour hood.

Bike Racks

Locations: At key locations like hubs & alfresco dining.

Drinking Fountains

Locations: At key locations like local hubs or near pedestrian & cycle routes.

Bollards- Standard

Locations: Where required to prevent & deter vehicle and/or pedestrian access.

PAVEMENT

Main Body: 2.5m wide path; Concrete pavement - Standard with Border & Bandings.

Border & Banding: 400x400mm brown Segmental pavers.

Feature Paving Panel: Combined Concrete Pavements of different colours and textures - to create three types of angular bandings patterns; refer MHSTG for typical detail. Panels at approximately 12m intervals.

Corner Treatment: to match Feature Paving Panel.

Entries (to multi business complexes or large development): Brown Segmental pavers; 400x400mm.

Kerb ramps: Concrete pavement - Sand Coloured

Driveway Crossover: Concrete pavement - Standard; to be level with surrounding footpath.

Tactile Ground Surface Indicator (TGSi): Charcoal Segmental pavers, 400x400mm, set-out to AS1428.4.

LIGHTING (Street Lighting & Pedestrian Lighting)

Location: Where required to AS1158.3.1

No selection, see MHSTG for guidance.

STREET TREE PLANTING

Street Trees Species: Refer to Street Tree Master Plan within this plan. **Spacings** approximately every 10-12m

Tree on footpath: Yes. Refer to MHSTG.

Tree in turf: Yes. Refer to MHSTG.

Tree guard: Standard, refer to MHSTG.

Street Type C - Wilsons Road Minor

DESCRIPTION

Located from the round-about entry into Macquarie Fair to the boundary of Mount Hutton. The pavement type continues along the proposed Willow Road extension. This location surrounds the Macquarie Fair shopping complex as well as single dwelling acreage. The land is classed B2 Local Centre. The area experiences a steady level of vehicular traffic and moderate pedestrian use. Power lines extend along the Northern side of the street. No uniform street trees exist. The southern side of the street is a mix of R2 & R3 low to medium residential.

OBJECTIVES

To create a strong sense of place with uniform street trees to either side of the street. A wider pavement treatment will be used adjacent the town centre. Increase pedestrian amenity throughout the street with connections to the spaces beyond. Provide on-street car parking.

EXISTING CONSTRAINTS

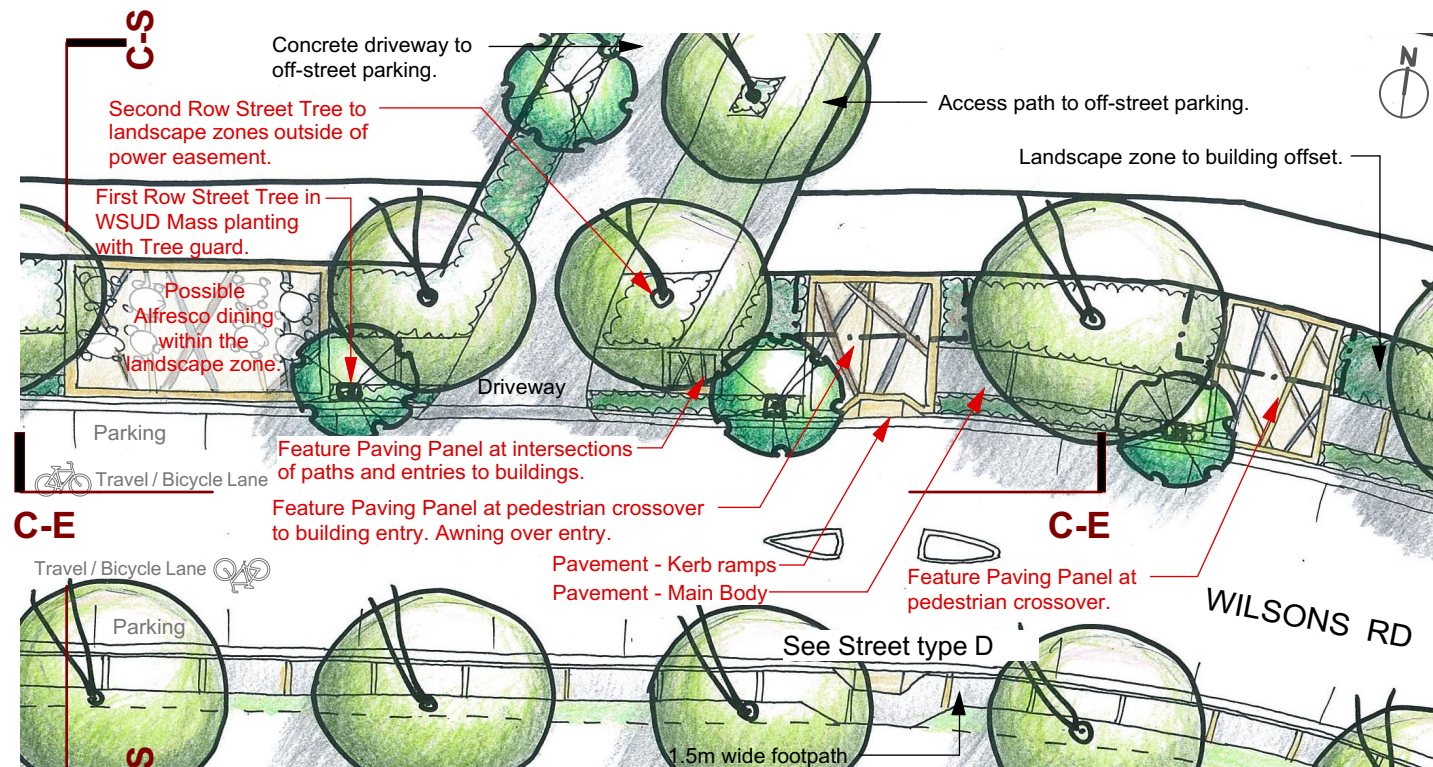
Cross levels along the verge, from the kerb to the property boundary. Existing services within the verge. Limited pedestrian connections to either side of the street with poor connections into Macquarie Fair. Power lines to the northern side of the street. Few shops address the street frontage due to the inwardly focused Macquarie Fair shopping centre.

DESIGN RESPONSE

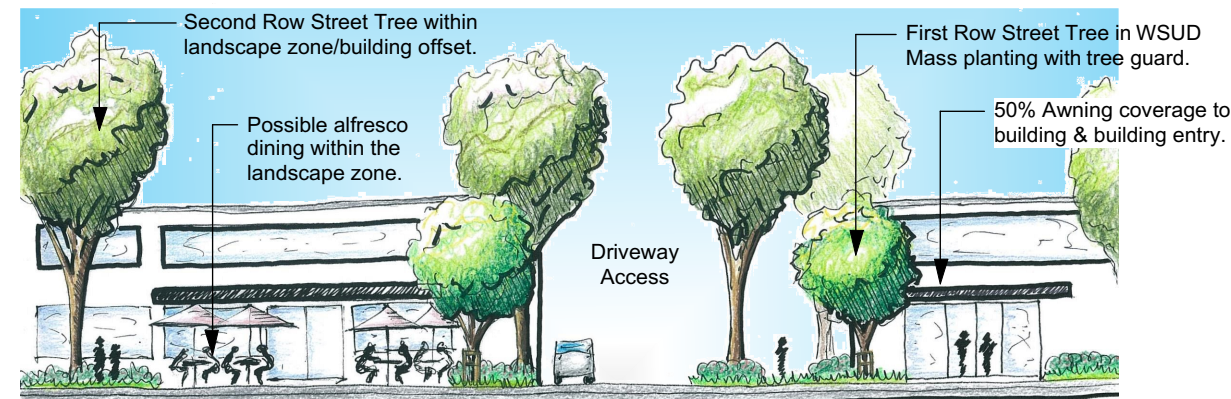
To provide a streetscape treatment that aligns with the Mount Hutton Area Plan. Wide coloured concrete with banding & header courses. Feature concrete panels to be spaced periodically along the street. Soft landscaping with deep soil planting to blend the public and semipublic spaces. Large trees to provide shade and structure to the street.

TYPICAL DIMENSIONS

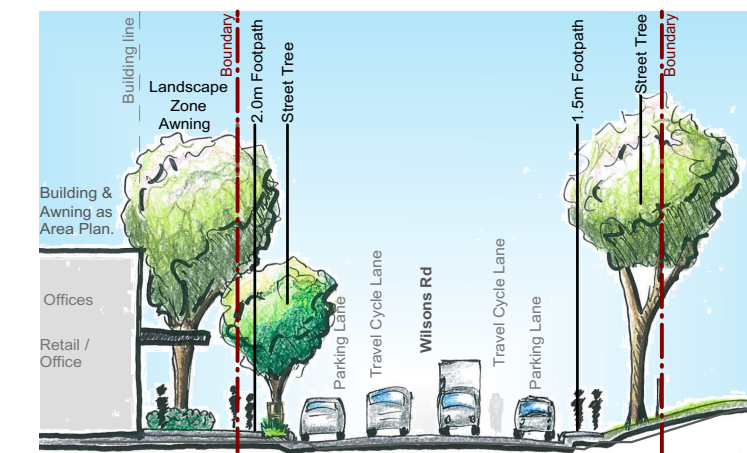
Road reserve width: 20.2 m (typical).
Verge width: 2.2 to 5.0m (South), 3.2 to 4.5m(North).
LEP Zone: B2 Local Centre.
Adjacent landuse(s): Low and medium residential.



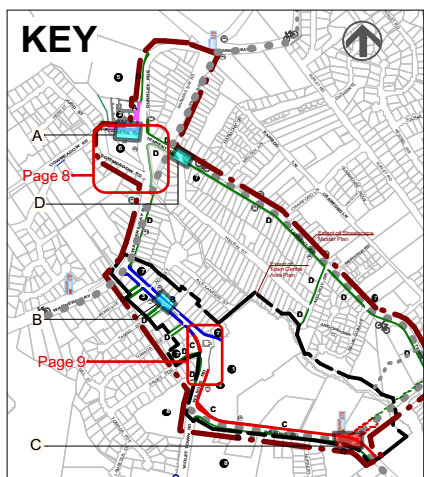
C-P Typical Plan - Street Type C NTS at A3



C-E Typical Elevation - Street Type C NTS at A3



C-S Typical Section - Street Type C NTS at A3



Materials and Furniture Selections

NOTE: The following provide general guidelines for the location of furniture elements and pavement treatments. Specific locations for furniture items are to be determined by LMCC at detailed design stage. Additional furniture items may be required for some developments.

Refer to the Mount Hutton Streetscape Technical Guidelines for specification guidance on streetscape elements and paving.

FURNITURE

Furniture to be clustered at prominent locations like facilities, bus stop, planters, shop entries to create activity nodes. Placement of furniture to maintain a 1.5m(W) x 2m(H) continuous path of travel (Obstruction free space) along the building line in accordance with AS1428.4.

Custom Elements- deleted

Seats - Standard

Locations: At key locations identified by LMCC. Selection: Aluminum seat with backrest & armrests.

Waste Receptacles

Locations: At key locations including bus stops, taxi stands, outside food outlet areas. Selection: Fire proof anodized aluminum bin enclosure. Grey Smoke colour with clear colour hood.

Bike Racks

Locations: At key locations like hubs & alfresco dining.

Drinking Fountains

Locations: At key locations like local hubs or near pedestrian & cycle routes.

Bollards- Standard

Locations: Where required to prevent & deter vehicle and/or pedestrian access.

PAVEMENT

Main Body: 2.5m wide path; Concrete pavement - Sand Coloured with Border & Bandings.

Border & Banding: 300mm wide, brown Segmental pavers.

Feature Paving Panel: Combined Concrete Pavements of different colours and textures - to create three types of angular bandings patterns; refer MHSTG for typical detail. Panels at approximately 12m intervals.

Corner Treatment: Continue Main Body / Feature Paving Panel pavement to the edge as spacing allows.

Entries (to multi business complexes or large development): to match Feature Paving Panel.

Kerb ramps: Concrete pavement - Sand Coloured

Driveway Crossover: Concrete pavement - Standard; to be level with surrounding footpath.

Tactile Ground Surface Indicator (TGSi): Charcoal Segmental pavers, 400x400mm, set-out to AS1428.4.

LIGHTING (Street Lighting & Pedestrian Lighting)

Location: Where required to AS1158.3.1

No selection, see MHSTG for guidance.

STREET TREE PLANTING

Street Trees Species: Refer to Street Tree Master Plan within this plan. **Spacings** approximately every 10-12m

Tree in turf: Yes. Refer to MHSTG.

Tree guard: Standard, refer to MHSTG.

Street Type D - CBD Support Areas

DESCRIPTION

Various locations and streets including Warners Bay Road, Tennent Road, upper Dunkley Parade, some of the southern sides of Wilsons Road, and the proposed extension of Willow Street. Many streets have overhead power lines and some open drainage channels.

OBJECTIVES

To create a strong pedestrian link from the Wilson Road town centre, to the neighbourhood centre at Dunkley Parade. It will also provide better circulation for pedestrians along the primary bus routes. To create harmonious streetscapes and provide pleasant pedestrian environments for people to work and live.

EXISTING CONSTRAINTS

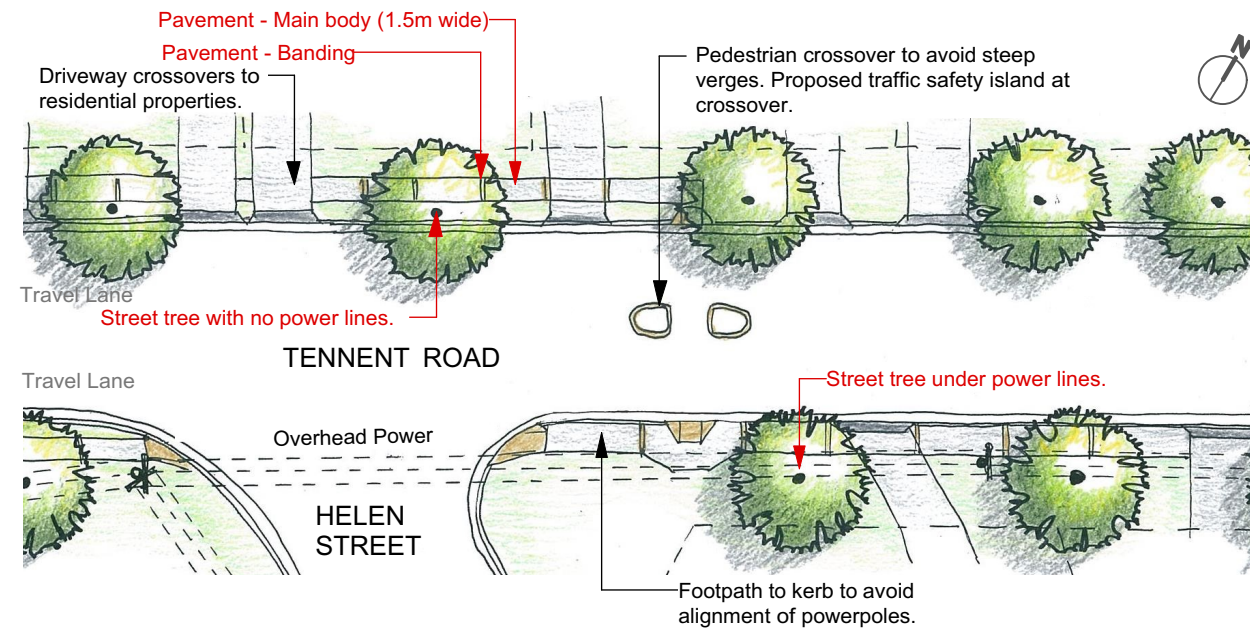
Cross levels along the verge, from the kerb to the property boundary. Existing services within the verge. Power lines throughout the suburb. Conflicts with overland drainage lines.

DESIGN RESPONSE

These areas will provide a transition zone between the two commercial hubs and the residential areas. The streets will provide a pedestrian friendly environment with wide footpaths and formalised tree plantings.

TYPICAL DIMENSIONS

Road reserve width: Varies
 Verge width: Varies
 LEP Zone(s): R2 Low Density Residential, R3 Medium Level Residential, RE1 Public Recreation
 Adjacent landuse(s): Low and medium residential.



D-P Typical Plan - Street Type D
NTS at A3

Street Type E - Neighbourhood Streets

DESCRIPTION

This street type is located to the remaining residential streets within the Master Plan. Buildings will be 1 to 2 stories high. Pedestrian movement will be dependent on neighbouring elements within the street, like schools, reserves or aged developments.

OBJECTIVES

To create harmonious streetscapes. To provide pleasant residential environments for people to live.

EXISTING CONSTRAINTS

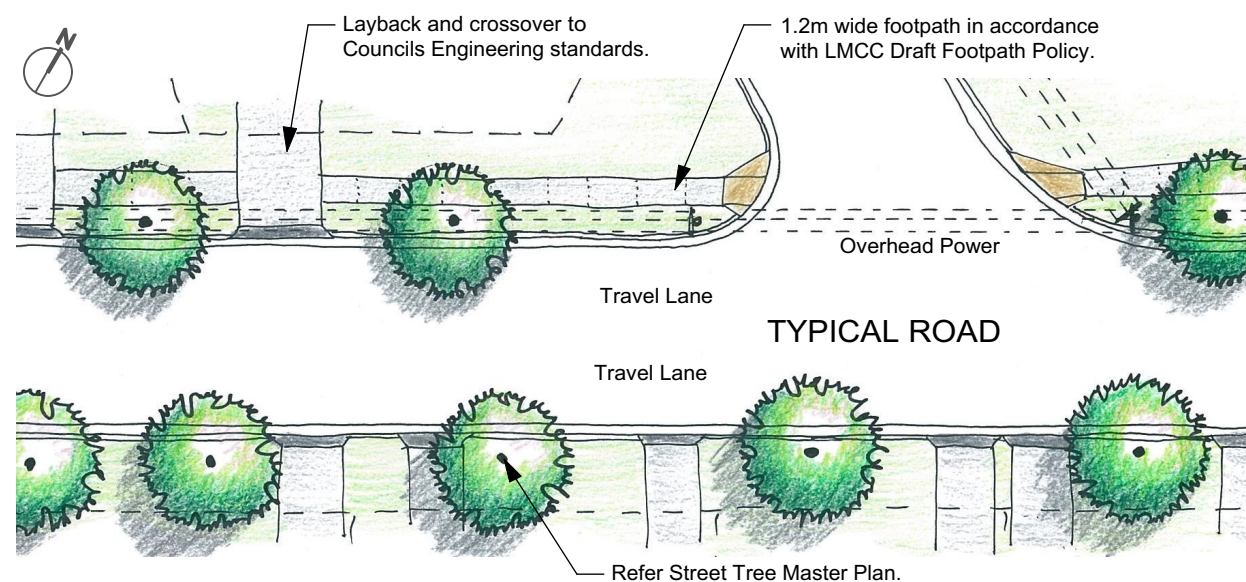
Overhead power lines to all streets.

DESIGN RESPONSE

Footpaths will be used within these streets in accordance with the Lake Macquarie Footpath Strategy, which takes into account criteria such as pedestrian movements, public safety, and surrounding infrastructure. Under the policy, streets with a medium to high rating will be eligible for footpaths. Street trees to these area have taken into account existing street trees and power lines where possible. Street Type E will have similar tree planting to other street types allowing large trees to grow uninterrupted & small trees placed under powerlines.

TYPICAL DIMENSIONS

Road reserve width (average): 20.1m
 Verge width (average): 3.6m
 LEP Zone: R3 - Medium Density Residential.
 Adjacent landuse(s): Residential, Mixed Use.



E-P Typical Plan - Street Type E
NTS at A3

Materials and Furniture Selections

NOTE: The following provide general guidelines for the location of furniture elements and pavement treatments. Specific locations for furniture items are to be determined by LMCC at detailed design stage. Additional furniture items may be required for some developments.

Refer to the Mount Hutton Streetscape Technical Guidelines for specification guidance on streetscape elements and paving.

FURNITURE

Furniture to be clustered at prominent locations like facilities, bus stop, planters, shop entires to create activity nodes. Placement of furniture to maintain a 1.5m(W) x 2m(H) continuous path of travel (Obstruction free space) along the building line in accordance with AS1428.4.

STREET TYPE D

Custom Elements - deleted

Seats - Standard

Locations: At key locations identified by LMCC.
 Selection: Aluminum seat with backrest & armrests.

Waste Receptacles

Locations: At key locations including bus stops, taxi stands, outside food outlet areas.
 Selection: Fire proof anodized aluminum bin enclosure. Grey Smoke colour with clear colour hood.

LIGHTING (Street Lighting & Pedestrian Lighting)

Location: Where required to AS1158.3.1
 No selection, see MHSTG for guidance.

STREET TREE PLANTING

Street Trees Species: Refer to Street Tree Master Plan within this plan. Spacings approximately every 10-12m
 Tree in turf: Yes. Refer to MHSTG.

PAVEMENT

Main Body: 1.2-1.8m wide path; Concrete pavement - Sand Coloured with Bandings.
 Bandings: 300mm wide, brown Segmental pavers, at typically 3m intervals.
 Kerb ramps: Concrete pavement - Sand Coloured
 Driveway Crossover: Concrete pavement - Standard; to be level with surrounding footpath.
 Tactile Ground Surface Indicator (TGSi): Charcoal Segmental pavers, 400x400mm, set-out to AS1428.4.

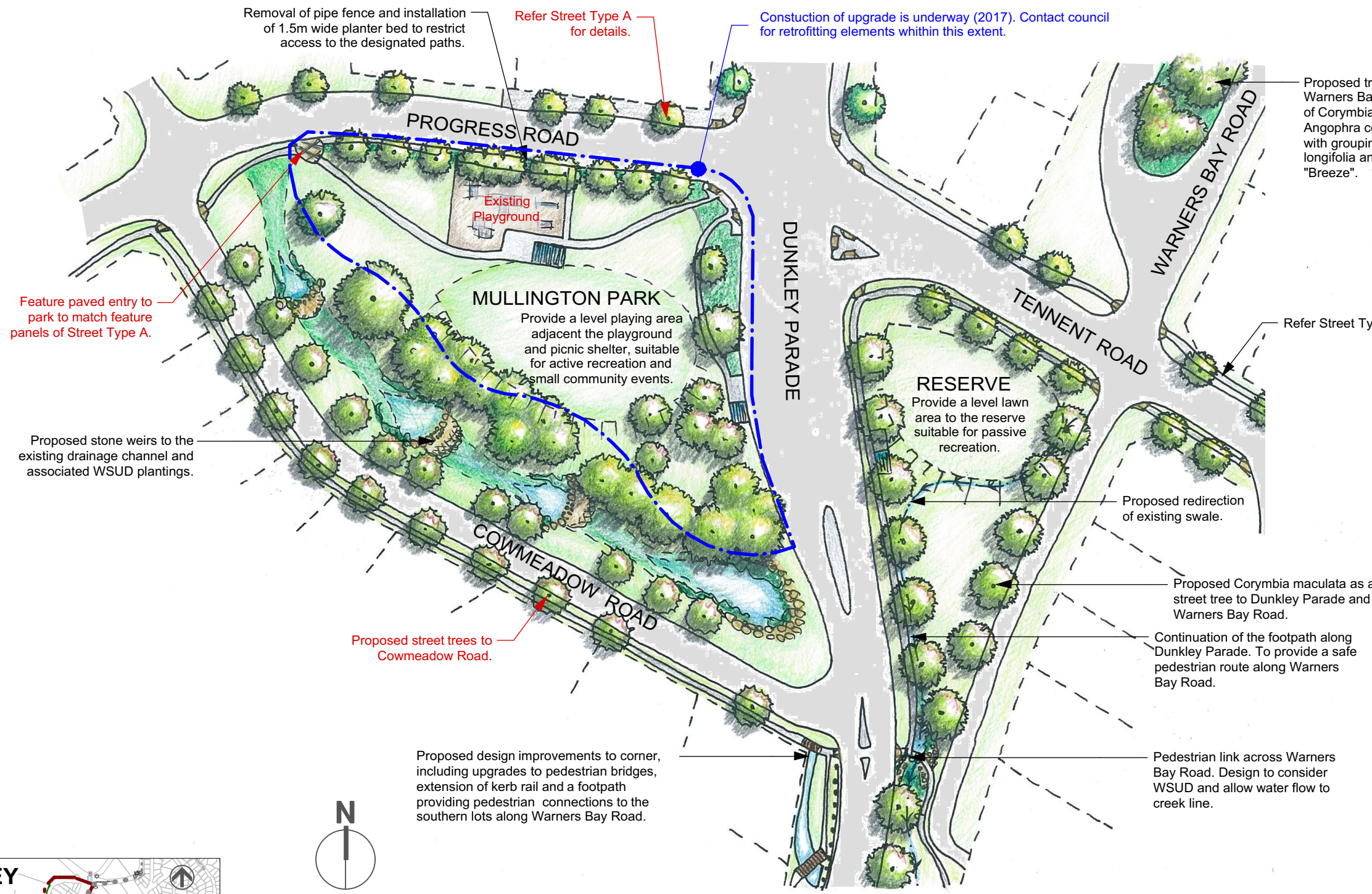
STREET TYPE E

PAVEMENT

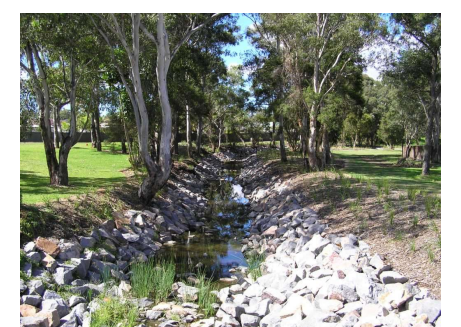
Main Body: 1.2m wide path; Concrete pavement - Standard.
 Driveway Crossover: Concrete pavement - Standard; to be level with surrounding footpath.
 Tactile Ground Surface Indicator (TGSi): Charcoal Segmental pavers, 400x400mm, set-out to AS1428.4.

STREET TREE PLANTING

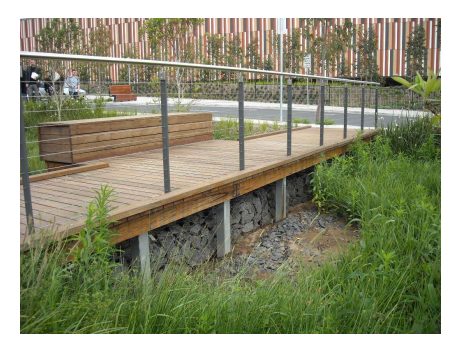
Street Trees Species: Refer to Street Tree Master Plan within this plan.
 Tree in turf: Yes. Refer to MHSTG.



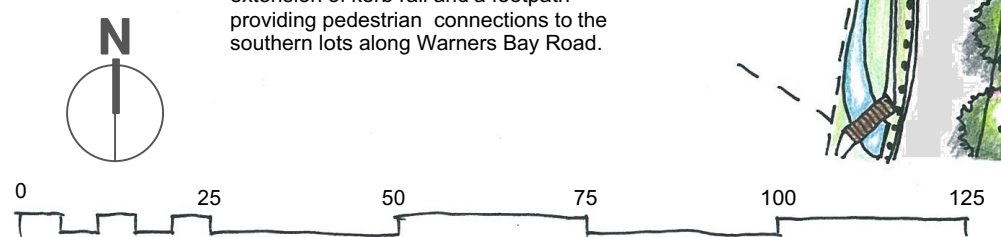
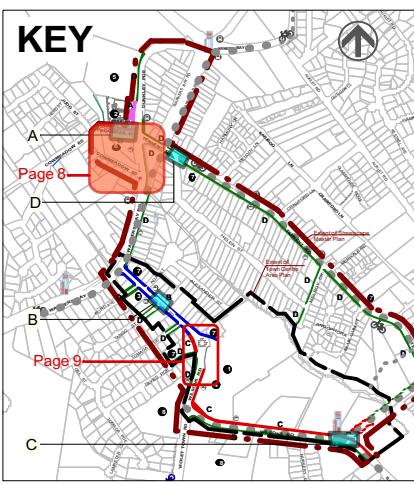
Corymbia maculata defining a park edge.



Open drainage swale with rock protection to banks and native grasses for stabilisation and water quality improvement.

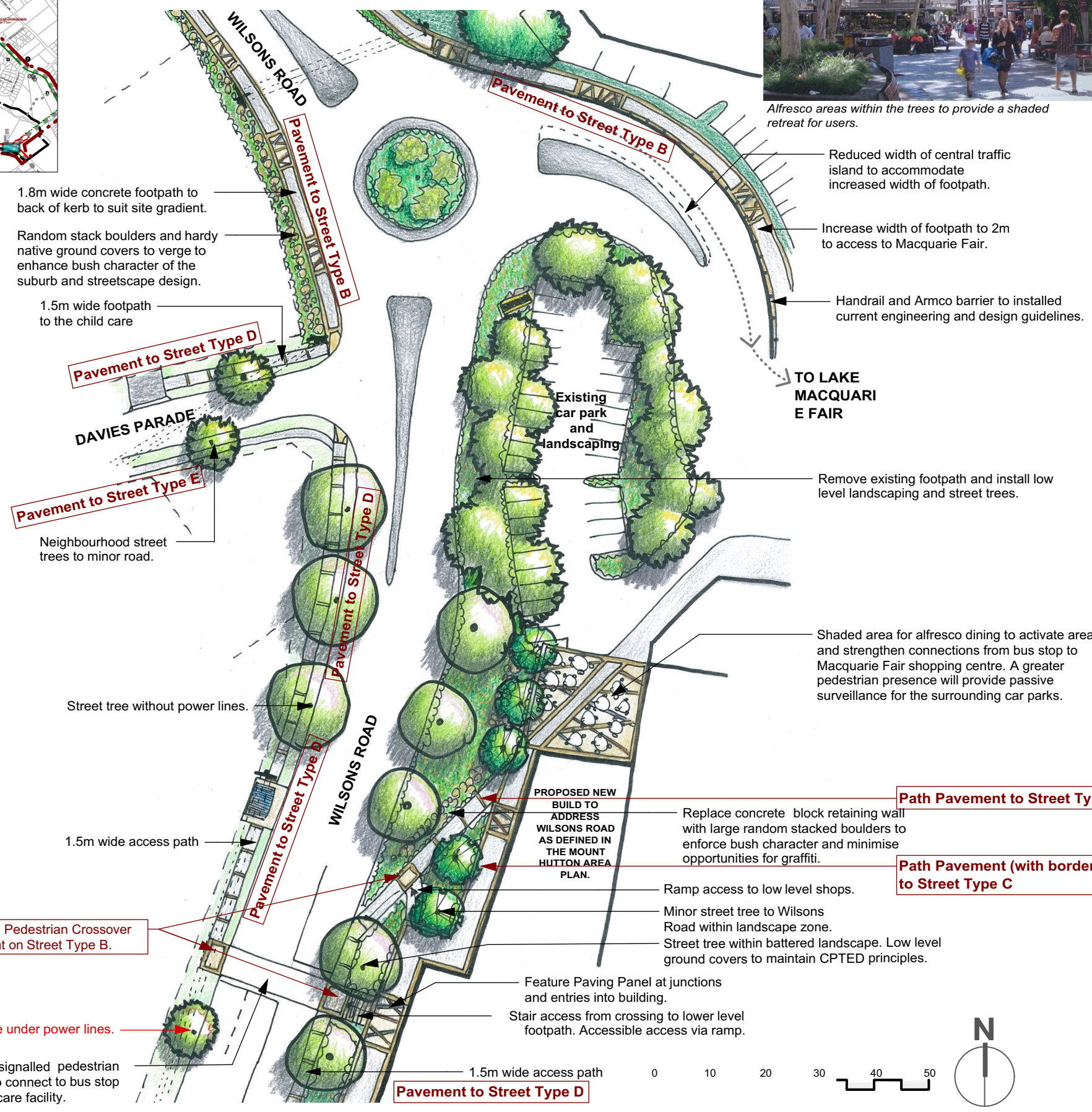
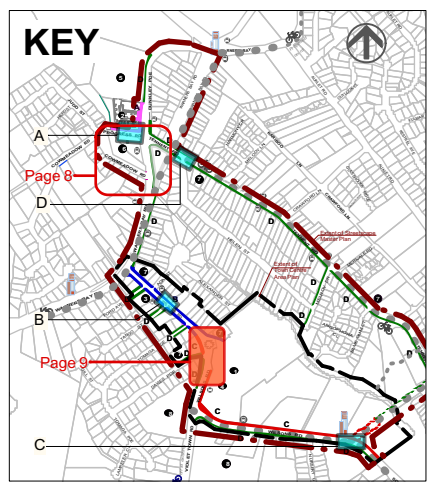


Pedestrian crossing over vegetated swales.



Design Notes: Conceptual designs for the Dunkley Parade public spaces have been considered under the Mount Hutton Streetscape Master Plan. This design is indicative of what could be achieved within the area and may change after stakeholder consultation and funding availability, it includes:

- * Greater pedestrian connections along Dunkley Parade and Warners Bay Road, including connections to Tennent Road and Cowmeadow Road have been proposed to encourage use of outdoor spaces.
- * Level lawn areas for greater use to Mullington Park and the Tennent Road reserve suitable for active and passive recreation. Mullington Park could be utilised for public events and become a community hub for the area.
- * Street trees providing shade and structure to the streets. Tree selections and placements will be compatible with existing services, both above and below ground.
- * Water sensitive urban design principles applied to Mullington Park and the Warners Bay Road reserves to increase the water quality and enhance the local ecology of the area.



Alfresco areas within the trees to provide a shaded retreat for users.

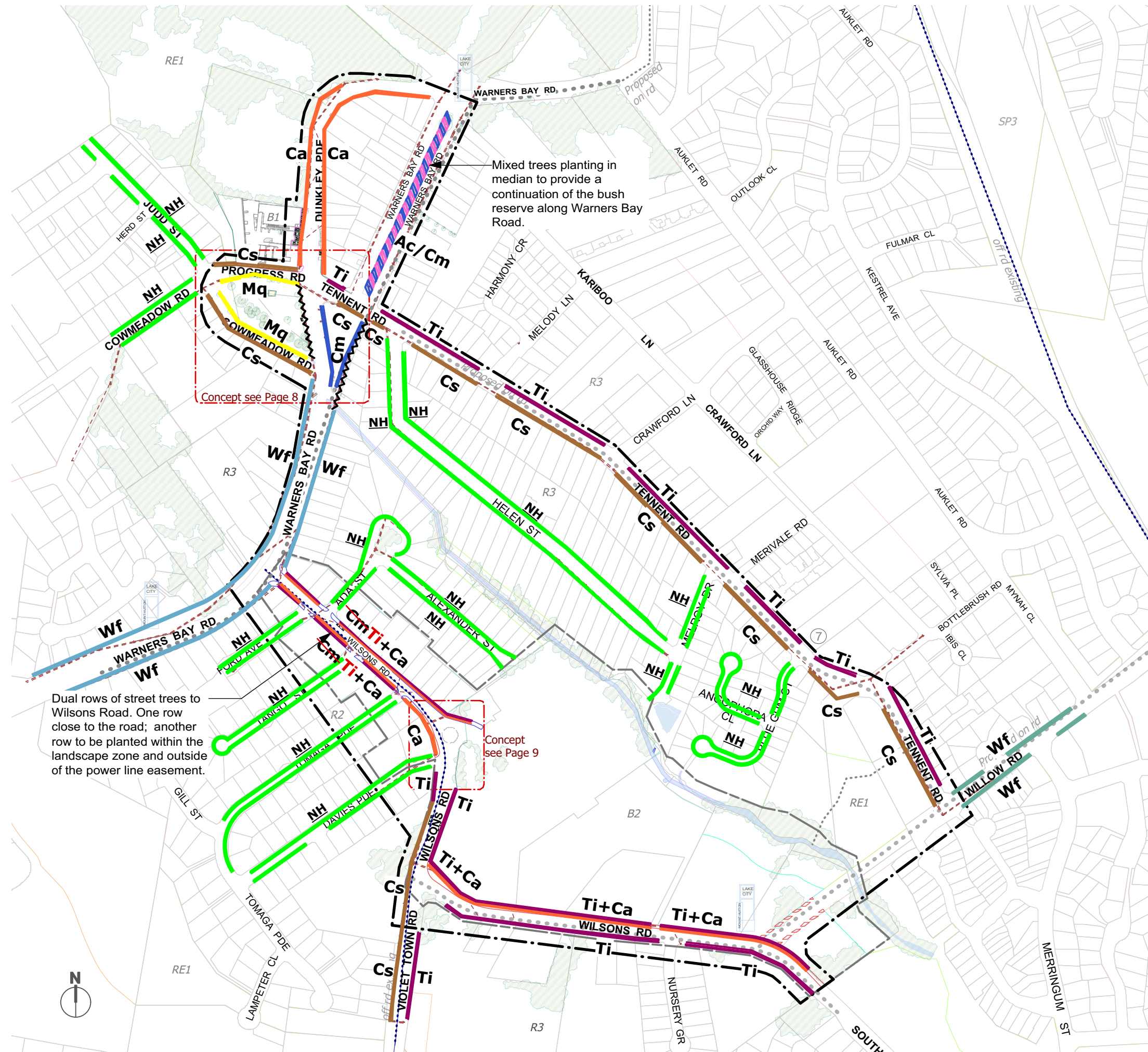


Large stacked boulders for informal retaining.



Opportunities created for custom furniture and art pieces within the landscape.

Design Notes: This concept shows a possible design solution for the western entry of Macquarie Fair that will provide increased pedestrian connectivity between the shopping centre and the rest of the town centre. The concept uses the proposed building blocks defined in the current Area Plan for Mount Hutton. This will activate this section of Wilsons Road, providing a pleasant pedestrian experience.



LEGEND

- Existing Mass plantings of trees
- Extent of Streetscape Master Plan
- Extent of Town Centre Area Plan
- No street trees
- Ac** **Angophora costata** - Sydney Red Gum
- Tree in median.
- Cs** **Callistemon salignus** - Willow Bottlebrush
- Street tree under power lines.
- Cm** **Corymbia maculata** - Spotted Gum
- Tree in median.
- Secondary row street tree.
- Deep soil & semi-public space.
- Ca** **Cupaniopsis anacardioides** - Tuckeroo
- Tree in road.
- First row street tree.
- with WSUD mass planting.
- Mq** **Melaleuca quinquenervia** - Broad Leafed Paperbark
- When no overhead power lines.
- Ti** **Tristaniopsis laurina "Luscious"** - Kanooka
- Secondary row street tree
- Wf** **Waterhousea floribunda "Sweeper"** - Weeping Lilly Pilly
- NH** **NEIGHBOURHOOD TREE PLANTINGS**
Buckinghamia celsissima - Ivory Curl
Tristaniopsis laurina "Luscious" - Kanooka
Callistemon salignus - Willow Bottlebrush

Street trees Min installation Pot Size: 75Ltr

Street trees typical spacing: 10 - 12m

Refer to the Mount Hutton Streetscape Technical Guidelines for guidance on design and specifying Trees, Turf, Mass Planting and Tree Guard.

Street Tree Master Plan

DESCRIPTION

This plan identifies street trees for streets contained within the LMCC DCP No.1 Mount Hutton Town Area Plan (Jan 2012). Typical spacings as well as proposed planting pits for trees have been detailed within the street types details. Large feature trees have been paired as required with smaller companion trees that will go under power-lines, allowing both to grow to maturity without becoming deformed from power-line maintenance. Twin planting has been proposed along Wilsons Road, with a small feature tree to the road reserve to accommodate the power lines, and a larger tree within the front building off-set. This will create an intimate pedestrian experience while providing scale and shade for the buildings.

OBJECTIVES

Use of large trees where appropriate creating tree lined avenues and an urban forest. A tree hierarchy will help define the major roads within the town centre and let people navigate their way through the town to shops and major bus routes.

EXISTING CONSTRAINTS

Overhead power lines throughout the town centre.



Angophora costata - Sydney Red Gum
 Mature Height: 25 x 10 (HxW)
 Description: An attractive tree with smooth pale pink & orange bark and mid green leaves. Its branches are often contorted giving the tree a gnarled and crooked appearance.



Callistemon salignus - Willow Bottlebrush
 Mature Height: 4-6 x 3-4 (HxW)
 Description: A small tree with dense habit. Bright pink new growth followed by cream coloured flowers in summer. Attractive papery bark. Formative pruning in early growth stages improves shape and appearance.



Buckinghamia celsissima - Ivory Curl
 Mature Height: 6-8 x 3-5 (HxW)
 Description: Small to medium native tree with dark green leathery leaves. Profuse fragrant cream flowers in summer to autumn. Bronze new growth. Adaptable to most soils. Prefers moisture.



Corymbia maculata - Spotted Gum
 Mature Height: 15-25 x 7-12 (HxW)
 Description: A medium to large tree with central leader. Dark glossy leaves and cream flowers in spring. The bark is smooth grey with dimples. flaking sections exposes white new growth.



Cupaniopsis anacardioides - Tuckeroo
 Mature Height: 5-8 x 5-8 (HxW)
 Description: A medium sized native coastal rainforest tree. Wide spreading shade tree with a rounded crown. Attractive glossy green foliage with yellow flowers and orange seed. Adaptable to a wide range of soils. Tolerates coastal conditions, salt spray and part shade.



Melaleuca quinquenervia - Broad Leafed Paperbark
 Mature Height: 10-14 x 8-10 (HxW)
 Description: Hardy native tree with deep green leaves, papery bark and creamy pale yellow flowers in spring/summer. Currently located on Progress Rd within Mullington Park.



Tristaniopsis laurina "Luscious" - Kanooka
 Mature Height: 7-10 x 6-7 (HxW)
 Description: Small to medium tree with rounded dense form. Large shiny dark green leaves with coppery new growth. Cream flowers in summer.



Waterhousea floribunda "Sweeper" - Weeping Lilly Pilly
 Mature Height: 10-12 x 5-8 (HxW)
 Description: A medium to large evergreen tree. Weeping foliage with glossy green leaves and dense growth. Clusters of small perfumed white flowers in summer and flushes of red growth in spring.



Image 1: Water sensitive urban design planter bed with street tree to verge.



Image 2: Large stacked boulders as feature retaining to garden beds, maintaining the bush theme proposed for Mount Hutton.



Image 3: Street trees in mass planting with simple concrete path.

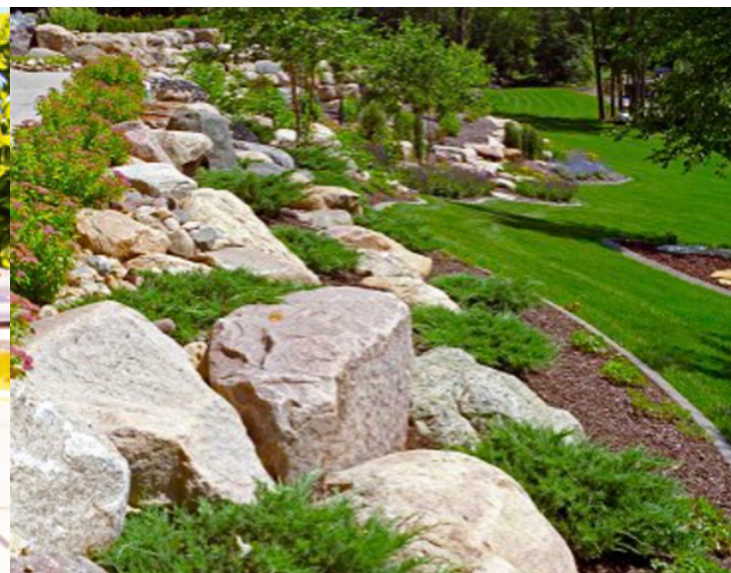


Image 4: Random stack boulders providing informal retaining to garden & allowing pockets of garden.



Image 5: Straight forest trunks of different colours providing the inspiration behind the concrete feature panels located throughout the footpath.



Image 6: Public spaces shaded by large trees creating a cool and inviting place to visit and relax. Ideal locations for custom furniture and art pieces to help define the character of a place.



Image 7: Public spaces with feature gardens, custom furniture and art pieces to help define the character of a place.



Image 8: Large uniform trees to define primary access routes for cars and pedestrians.



Image 9: Simple pavement treatments creating clean lines and defined pedestrian areas.



Image 10: Proposed colour palette of browns, creams and greys to complement greens within the gardens and trees.



Image 11: Sample of combined pavements of different colours and textures.